



# Home Inspection Report

Prepared for:

807, 809 Detroit St.  
Sheboygan Falls, WI 53085



Inspected by:  
Ryan Eigenfeld  
National Property Inspections  
Inspection Date: 5/5/2025



## Defective Summary

This summary page is provided for convenience and is not a substitute for reading the entire report and should not be relied upon as the complete list for the client's reference.

For the purposes of the report, "Defect," as defined in section 440.97 (2m), Wis. Stats., means: "A condition of any component of an improvement that a home inspector determines, on the basis of the home inspector's judgment on the day of an inspection, would significantly impair the health or safety of occupants of a property or that, if not repaired, removed, or replaced, would significantly shorten or adversely affect the expected normal life of the component of the improvement." The contract of sale may define "Defect" to also include a condition that would have a significant adverse effect on the value of the property, but such a condition may not be labeled a defect in the report unless it meets the definition in section 440.97 (2m), Wis. Stats.

A home inspector may not report on the market value or marketability of a property or whether a property should or should not be purchased.

## Lots and Grounds

- East Driveway:** Concrete, Gravel      There are cracks with uneven settling and trip hazards present. Recommend a qualified contractor inspect and repair/ replace as needed.
- North Driveway:** Concrete      There are cracks with uneven settling and trip hazards present. The driveway has settled towards the front of the Garage causing a trip hazard. Recommend a qualified contractor inspect and repair/ replace as needed.
- Walkways:** Concrete      There is uneven settling with trip hazards present. The walk slopes towards the Bilco door opening. Recommend a qualified contractor inspect and repair/ replace as needed.
- East Porch:** Wood, Wood columns      There is wood rot present on the floor boards. Recommend a qualified contractor inspect and repair/ replace as needed.

Note: Building standards have changed throughout the years. It is common in older homes to have missing railings and/ or spindles that do not meet today's standards. Consider updating to today's standards for safety reasons.

Note: The underside of the porch structure is covered with finish materials, and not all was visible for inspection.

- North Porch:** Concrete, Metal posts      The North concrete porch is cracked with settlement towards the foundation. There is a trip hazard. A main structural beam is exposed with dry rot present. The West metal post is loose. Recommend a qualified contractor inspect and repair/ replace as needed.
- Patio:** Concrete      The patio slopes towards the foundation of the building. Recommend repair to slope away from the building for proper water runoff. There is uneven settling with trip hazards present.

## Roof

- 2nd Floor, 1st Floor, Porch Roof Surface Material:** Asphalt shingle      There is a missing shingle tab on the West roof. There is evidence of possible previous hail damage. There are torn shingles and lifted nails present. There is typical granular loss and/ or staining observed. There is moss growth present. Continued typical seasonal maintenance will be required as the roof ages. Recommend a qualified contractor inspect and repair/ replace as needed.
- Flashing:** Rubber, Metal      The rubber boots are torn at the plumbing stacks. Recommend a qualified contractor inspect and repair/ replace as needed.

## Garage

- Detached Garage Ceiling/Walls:** Exposed framing      There is daylight present on the West side bottom plate.

## Basement

- Main Basement Basement Stairs/Railings:** Wood stairs with wood handrails      Note: Building standards have changed throughout the years. It is common in older homes to not have railing systems with multiple steps present, and does not meet today's standards. There are large riser heights. Consider updating to today's standards for safety reasons.



## Defective Summary (Continued)

### Crawl Space

South Crawl Space Insulation: Belly insulation - batts where visible There is evidence of previous water damage and falling batts present. Recommend a qualified contractor inspect and repair/ replace as needed.

### Plumbing

Service Line: Lead The main water supply line to the home is lead material. Lead water lines are common to the period the home was built. This material may allow lead to leach into the drinking water and cause safety concerns. Consider contacting the local municipality to see if updating to current material standards is an option.

Gas Service Lines: Black pipe There is one gas leak observed at time of inspection, see orange tag. Recommend a qualified, licensed plumbing contractor inspect and repair/ replace as needed.

### Electrical

Electrical Outlets/Components: 110 V, 110 V GFCI The Lower unit laundry room is missing a cover plate.

The Lower unit South Bedroom cover is cracked.

There is an outlet with a reversed hot/ neutral wiring present in the Upper Units 1st Floor Laundry Room.

The Upper Unit West Kitchen wall outlet is melted.

There appears to be an improper wire splice in the Attic space. Recommend a licensed, qualified electrician inspect and repair/ replace as needed.

Basement - Main Electric Panel Manufacturer: Square D There is an improper double tap present. There are neutral conductor(s) sharing a common screw on the bus bar with ground wire(s). This application is improper. Recommend a qualified, licensed electrical contractor inspect and repair/ replace as needed.

Basement - Sub Electric Panel Manufacturer: Cutler-Hammer There appears to be triple taps present on the Main breaker. There is a live wire missing a wire nut. Recommend a qualified, licensed electrical contractor inspect and repair/ replace as needed.

Note: This panel was not labeled. Recommend verify what this panel services.

Upper Unit - Main Electric Panel Manufacturer: Square D There are neutral conductor(s) sharing a common screw on the bus bar with ground wire(s). This application is improper. Recommend a qualified, licensed electrical contractor inspect and repair/ replace as needed.

### Heating System

Upper Unit Heating System Flue Pipe: Metal single wall, Metal double wall - B Vent Class B Vent requires a 1" clearance to combustibles per UL listing. There was no evidence of heat marks at the time of inspection. Recommend a licensed, qualified contractor inspect and repair/ replace as needed.

### Bathroom

Lower Unit Bathroom Toilets: Standard The toilet is loose at the floor. Recommend a qualified, licensed plumbing contractor inspect and repair/ replace as needed.

Upper Unit Bathroom Toilets: Standard The toilet is loose at the floor. Recommend a qualified, licensed plumbing contractor inspect and repair/ replace as needed.

### Environmental

Environmental Suspected Asbestos: HVAC duct joints Suspect asbestos observed on duct joints. Not tested at time of inspection. Lab testing of suspected asbestos containing materials are required to determine the presence of asbestos. Recommend a qualified asbestos contractor inspect and repair/ replace as needed.



## Further Evaluation Summary

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A home inspector may not report on the market value or marketability of a property or whether a property should or should not be purchased.

Further Evaluation Definition: Item is not functioning as intended, needs further evaluation by a qualified contractor.

### Garage

**Detached Garage Floor/Foundation:** Concrete      The concrete floor is cracked and settled. The settling is allowing the Garage structure to move. There is a cracked rafter present. Recommend a qualified Structural Engineer and Contractor to inspect and repair/ replace as needed.

### Attic

**Main Attic Ventilation:** Roof      There appears to only be roof exhaust with no intake venting. Recommend intake ventilation be installed to ensure proper air flow in attic space. Recommend a qualified contractor inspect and repair/ replace as needed.

### Structure

**Beams:** Wood were visible, Steel I-Beam      There is an exposed wood beam on the North side where the concrete Porch has settled that has dry rot present. There are several visible wood beams present with dry rot in the Basement at the West wall, South bearing wall and the mid bearing wall. There are home made metal joist hangers holding floor joists with previous repairs. There are lag bolt fasteners present. No evaluation could be made to verify proper repairs. Recommend a Structural Engineer and qualified Contractor to inspect and repair/ replace as needed.

**Piers/Posts/Columns:** Wood      The vertical wood posts has metal brackets which appear to have improper fasteners with improper attachment to the Structure. There are no visible footings. The posts are water stained at the floor. Recommend a Structural Engineer and qualified Contractor to inspect and repair/ replace as needed.

### Crawl Space

**East Crawl Space Beams/Posts:** Wood      There is evidence of previous repairs present. There appears to be improper attachments, missing metal brackets, falling wood walls and debris. There is evidence of settlement in the Lower units Bedrooms/Hallway above this area. Recommend a Structural Engineer and qualified Contractor to inspect and repair/ replace as needed.

### Plumbing

**Palmer Valve:** Not visible      Older homes commonly have a palmer valve present in the sub level of basement floor drain. Palmer valves are not typically visible from the basement floor drain. Due to the age of the system, palmer valves maybe corroded and not functional. Palmer valves are not inspected for proper operation during the inspection. Recommend a licensed plumber for further evaluation.

**Lateral/ Clean-Out:** Accessible      Note: The drain-line lateral to the street is not visible for inspection. Mature tree roots can damage the drain system and cause water to back up into the home. Recommend a qualified, licensed plumbing contractor inspect and repair/ replace as needed.

### Electrical

**Basement - Sub Electric Panel Main Breaker Size:** Unknown      The main breaker size could not be determined. Recommend a qualified, licensed electrical contractor inspect and repair/ replace as needed.

Note: This panel was not labeled. Recommend verify what this panel services.

**Basement - Sub Electric Panel Manufacturer:** Square D      Note: This panel was not labeled. Recommend verify what this panel services.





## Further Evaluation Summary (Continued)



## Needs Repair Summary

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A home inspector may not report on the market value or marketability of a property or whether a property should or should not be purchased.

Needs Repair Definition: The condition of the item warrants repair but does not pose a health or safety concern nor rise to the level of Defect.

### Lots and Grounds

South Porch: Wood, Wood columns      The wood Porch post connection to the concrete footing is missing a proper bracket. There are typical cracks. Recommend a qualified contractor inspect and repair/ replace as needed.

Grading: Negative slope      Recommend add more dirt as needed to provide proper drainage away from the building.

### Exterior Surface and Components

Trim: Vinyl, Aluminum, Wood      The South window trim is missing a proper flashing at the sill.

Entry/Patio Doors: Wood, Metal      There is a broken insulated glass seal located at the East laundry room door.

Foundation Covering: Stucco      The covering has cracks and requires maintenance.

### Roof

Gutters: Aluminum      The South upper gutter has an improper pitch. The gutter corners appear to be leaking. Recommend clean debris out of gutters. Recommend a qualified contractor inspect and repair/ replace as needed.

Downspouts: Aluminum      The SE down spout should be secured.

Note: The West corrugated pipe drain location is unknown.

### Crawl Space

East Crawl Space Moisture/Vapor Barrier: Not present      Recommend add moisture barrier.

South Crawl Space Moisture/Vapor Barrier: Not present      Recommend add moisture barrier over the dirt.

### Plumbing

Basement - Lower Unit Water Heater TPRV and Drain Tube: Copper      Recommend add proper TPR pipe for safety.

### Bathroom

Lower Unit Bathroom Tub/Shower/Surround: Fiberglass tub and surround      The shower diverter is not functioning properly, all water is not flowing to showerhead. The pull is loose. Recommend a qualified contractor inspect and repair/ replace as needed.

### Kitchen

Lower Unit Kitchen Cooking Appliances: Kenmore      Two burners are inoperative.

### Environmental

Environmental Peeling Paint: Exterior Components      There is peeling paint present. Paint and caulk maintenance is required. Buildings built prior to 1978 may contain lead-based paint hazards. Testing of suspected lead-based paint is required to determine the presence of lead-based paint. Recommend a qualified contractor inspect and repair/ replace as needed.



## Monitor Summary

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Monitor Definition: Currently functioning, but condition and/or age indicates that limited remaining life is expected. Client is advised to budget for replacement or upgrade.

### Garage

Detached Garage Roof: Asphalt shingle      There is typical granular loss and/ or staining observed. The roof appears to be functional at time of inspection. Continued typical seasonal maintenance will be required as the roof ages.  
 Detached Garage Roof Structure: Rafters, Plywood      There is evidence of previous leaking.

### Attic

Main Attic Insulation: Blown in cellulose      There is approx 8 inches of insulation. This is common due to the age of the home.  
 Main Attic Moisture Penetration: Previous water penetration observed      There was no visible evidence of active moisture penetration into the attic space at the time of inspection.

### Structure

Interior Foundation: Block, Poured concrete, Stone      The block/concrete North wall is plumb with cracks. The East wall could not be measured due to the type of material and crawl space. The block/concrete South wall is plumb. The block/concrete West wall is plumb.  
 Joists/Trusses: Wood joists where visible      There is a notched joist near the furnace. See Beam note.

### Basement

Main Basement Moisture Location: West wall, East wall      There was no visible evidence of active seepage penetration into the basement at the time of inspection.

### Crawl Space

East Crawl Space Moisture Location: Several locations      There are water stains present on the walls. There was no evidence of visible current leaking.  
 South Crawl Space Moisture Location: Several locations      There is evidence of previous water damage.

### Plumbing

Basement - Lower Unit Water Heater Water Heater Operation: Functional at time of inspection Monitor due to age.  
 Basement - Upper Unit Water Heater Water Heater Operation: Functional at time of inspection Monitor due to age.

### Heating System

Upper Unit Heating System Heating System Operation: Functioning      The cabinet is dirty. Monitor due to age.

### Environmental

Environmental Pests: Dead rodent, Rodent droppings, Rodent traps      There is past/present evidence of rodents. There are preventative pest traps present. There are rodent droppings observed.



## Maintenance Summary

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Maintenance Definition: Maintenance of the item is recommended to prevent premature failure or to maintain its functionality.

### Exterior Surface and Components

Hose Bibs: Gate Recommend shutting off exterior hose bibs during the winter months to avoid pipe supply damage and allow interior leaking.

### Roof

Leaders/Extensions: Aluminum Recommend properly attach and add proper aluminum leaders where missing and ensure all leaders extend 6 feet beyond the foundation perimeter.

### Garage

Detached Garage Exterior Surface: Masonite The siding is weathered/ damaged being maintained by paint.

### Plumbing

Water Lines: Copper There are missing caps at shut offs.

There is evidence of past/ present water leaks, dry at time of inspection, monitor for leaks, may need replacement in near future.

### Electrical

Co/ Smoke Detectors: Battery operated Recommend remove old yellow detectors and add new Smoke and CO detectors per NFPA and manufacture recommended locations.

### Heating System

Basement - Lower Unit Heating System Filter: Disposable filter The filter is dirty, recommend replacement. Recommend add filter cover to the filter rack to seal return plenum properly.

Basement - Lower Unit Heating System Distribution: Metal duct where visible There is falling insulation present.

### Finished Rooms

Lower Unit Finished Room Doors: Wood The East door needs adjustment to open/latch properly.

Lower Unit Finished Room Windows: Wood double hung, Wood slider The Laundry room window requires prime/ paint maintenance.

### Bathroom

Lower Unit Bathroom Counter/Cabinet: Laminate, Wood Recommend caulk maintenance to counter top at wall.

### Laundry Room/ area

Lower Unit Laundry Room/Area Dryer Vent: Metal flex Recommend clean dryer vent prior to first use of appliance.

Upper Unit - On 1st Floor Laundry Room/Area Dryer Vent: Metal flex Recommend clean dryer vent prior to first use of appliance.





## Maintenance Summary (Continued)

Upper Unit - On 1st Floor Laundry Room/Area Doors: Metal  
seal at the door.

There is an broken insulated glass unit



## Not Inspected Summary

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A home inspector may not report on the market value or marketability of a property or whether a property should or should not be purchased.

Not Inspected Definition: Item was unable to be inspected for safety reasons, lack of power, inaccessible, not visible, disconnected at time of inspection, or was not within the scope of this inspection.

### Attic

Main Attic Unable to Inspect: 50%      Approx 50% not visible, entering attic space is restricted due to undisturbed, blown-in insulation. Attic components beneath insulation are not visible for inspection.

Main Attic Bathroom/Kitchen Fan Venting: Not visible      Not inspected due to not visible.

Lower Unit Attic Unable to Inspect: 100%      There is no access. Be advised that because we could not enter the attic space, hidden problems may exist that are not documented in this report. It is recommended that if/ after access is made available a full examination of the space be made prior to commitment.

### Structure

Unable to Inspect: 50%      The basement/structure is approx 50% not visible due to inaccessible crawl spaces. Not all components are inspected, only the visible portions.

### Crawl Space

North Crawl Space Unable to Inspect: 100%      The access is blocked and not inspected. Be advised that because we could not enter the crawlspace, hidden problems may exist that are not documented in this report. It is recommended that after obstructions are removed a full examination of the space be made prior to commitment.

East Crawl Space Unable to Inspect: 50%      Approx. 50% not visible due to contents and structure present.

East Crawl Space Insulation: Not visible      Not visible for inspection.

South Crawl Space Unable to Inspect: 75%      The crawl space/structure is approx 75% covered with, duct work, vapor barrier, insulation and previous repairs. There is limited access. Not all components are inspected, only the visible portions.

### Electrical

Low Voltage Wiring: Hard wired      Not inspected. Testing of low voltage items, such as smoke detectors, carbon monoxide detectors, alarms, timers, low voltage general lighting, back-up generator systems, antenna's, cell phone towers, door bells, intercom/ entertainment systems, security, pet containment systems, etc. are beyond the scope of this inspection.

### Air Conditioning

Main AC System A/C System Operation: Appears serviceable      Due to season temperature of below 65 degrees for last 12 hours, the unit was not inspected.

### Bathroom

Lower Unit Bathroom Fixtures/Plumbing: PVC, Chrome faucet      Not inspected due to contents present.

### Kitchen

Upper Unit Kitchen Cooking Appliances: General Electric      Not inspected for function.

### Environmental

Environmental Fuel Tank/Location: Not visible      Not inspected due to not visible.



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## Definitions

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection.

Functional	(Black) Performing its function and its condition is appropriate for its age and/ or use.
Defective	(Red) A condition of any component of an improvement that a home inspector determines, on the basis of the home inspector's judgment on the day of an inspection, would significantly impair the health or safety of occupants of a property or that, if not repaired, removed, or replaced, would significantly shorten or adversely affect the expected normal life of the component of the improvement.
Further Evaluation	(Magenta) Item is not functioning as intended, needs further evaluation by a qualified contractor.
Needs Repair	(Blue) The condition of the item warrants repair but does not pose a health or safety concern nor rise to the level of Defect.
Monitor	(Brown) Currently functioning, but condition and/or age indicates that limited remaining life is expected. Client is advised to budget for replacement or upgrade.
Maintenance	(Blue) Maintenance of the item is recommended to prevent premature failure or to maintain its functionality.
Not Inspected	(Green) Item was unable to be inspected for safety reasons, lack of power, inaccessible, not visible, disconnected at time of inspection, or was not within the scope of this inspection.
Not Present	(Black) Item not present or not found at time of inspection.

## General Information

This Inspection Report and the Inspection Agreement are intended to be the completed inspection report for the use of the client only.

This report is completed by Quality Inspections L.L.C. dba National Property Inspections.

Each office is independently owned.

Member of WAHI - Follows the WI Standards of Practice and abides by the WAHI Code of Ethics

### SCOPE OF THE INSPECTION

A home inspector shall perform a reasonably competent and diligent home inspection of the readily accessible installed systems and components required to be inspected under s. SPS 131.32 to detect observable conditions of an improvement to residential real property.

A reasonably competent and diligent home inspection is not required to be technically exhaustive. Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed.

Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air.





## General Information (Continued)

## Property Information

Property Address 807 Detroit St - Lower

Property City Sheboygan Falls Property State WI Zip 53085

## Client Information

## Inspection Company

Inspector Name Ryan Eigenfeld

Company Name National Property Inspections

Company City Mount Pleasant State WI Zip 53406

Company Phone (262) 636-9909

Company Website www.npi-wi.com

Inspectors on Site Ryan Eigenfeld

Inspector E-Mail ryan.eigenfeld@npi-wi.com

Inspectors License Number Ryan: 2992-106

## Conditions

Others Present Buyer, Buyer's Agent Property Occupied Occupied

Estimated Age 125 years old Entrance Faces East

Inspection Date 5-5-2025 Date Report Prepared 5-5-2025

Start Time 8:30 am End Time 12:30 pm

Radon Test No

WDO Inspection No

Electric On Yes

Gas/Oil On Yes

Water On Yes

Temperature 56 Degrees

Weather Partly sunny Soil Conditions Damp

Rain In Last Three Days Yes

Space Below Grade Basement, Crawl Space

Building Type Duplex Garage Detached

Sewage Disposal City

Water Source City



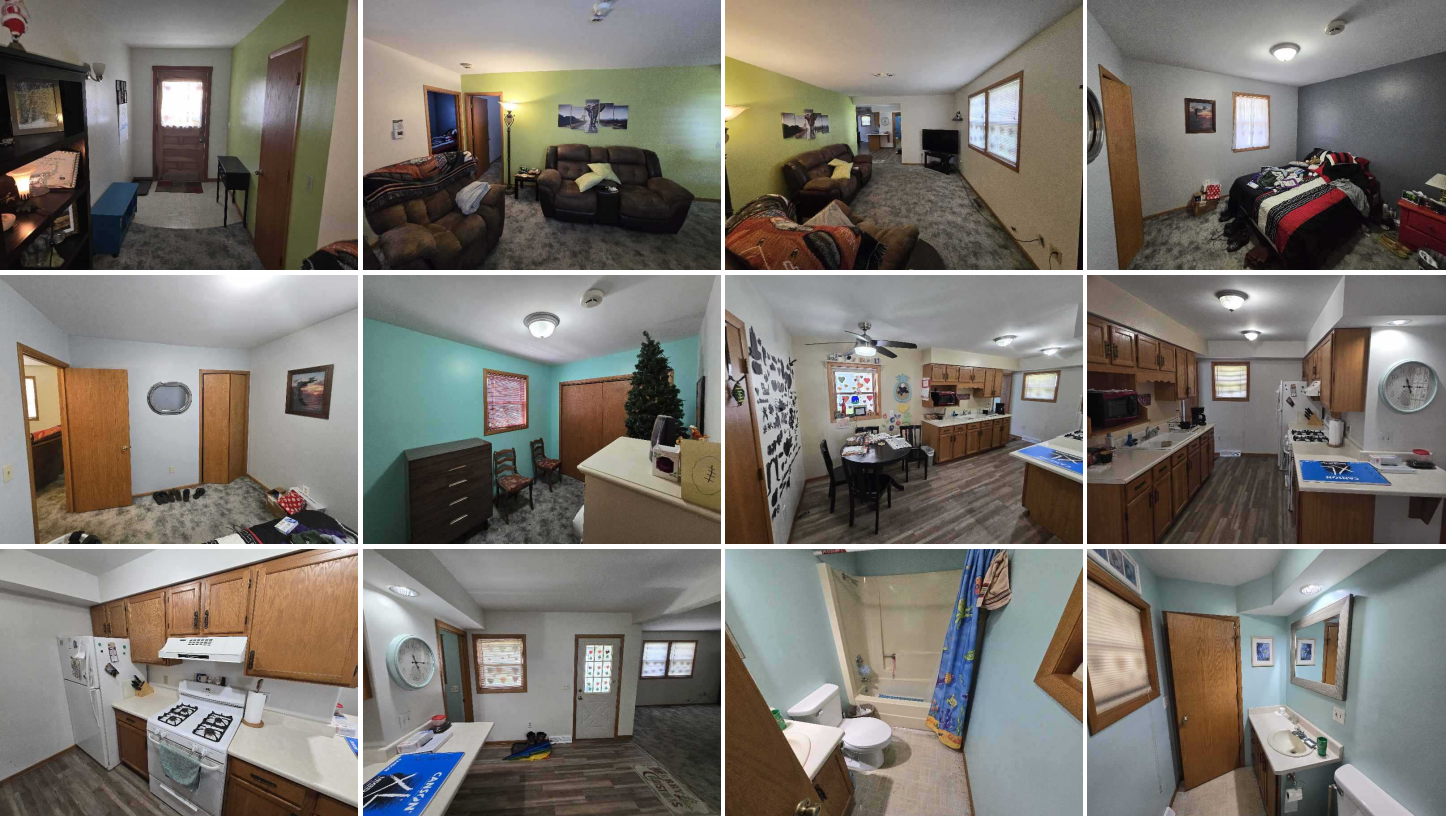
## Overview Pictures

The pictures in this section represent the exterior and interior overview of the building at time of inspection.

### 1. Location: Exterior / Lots & Grounds



### 2. Location: Lower Unit





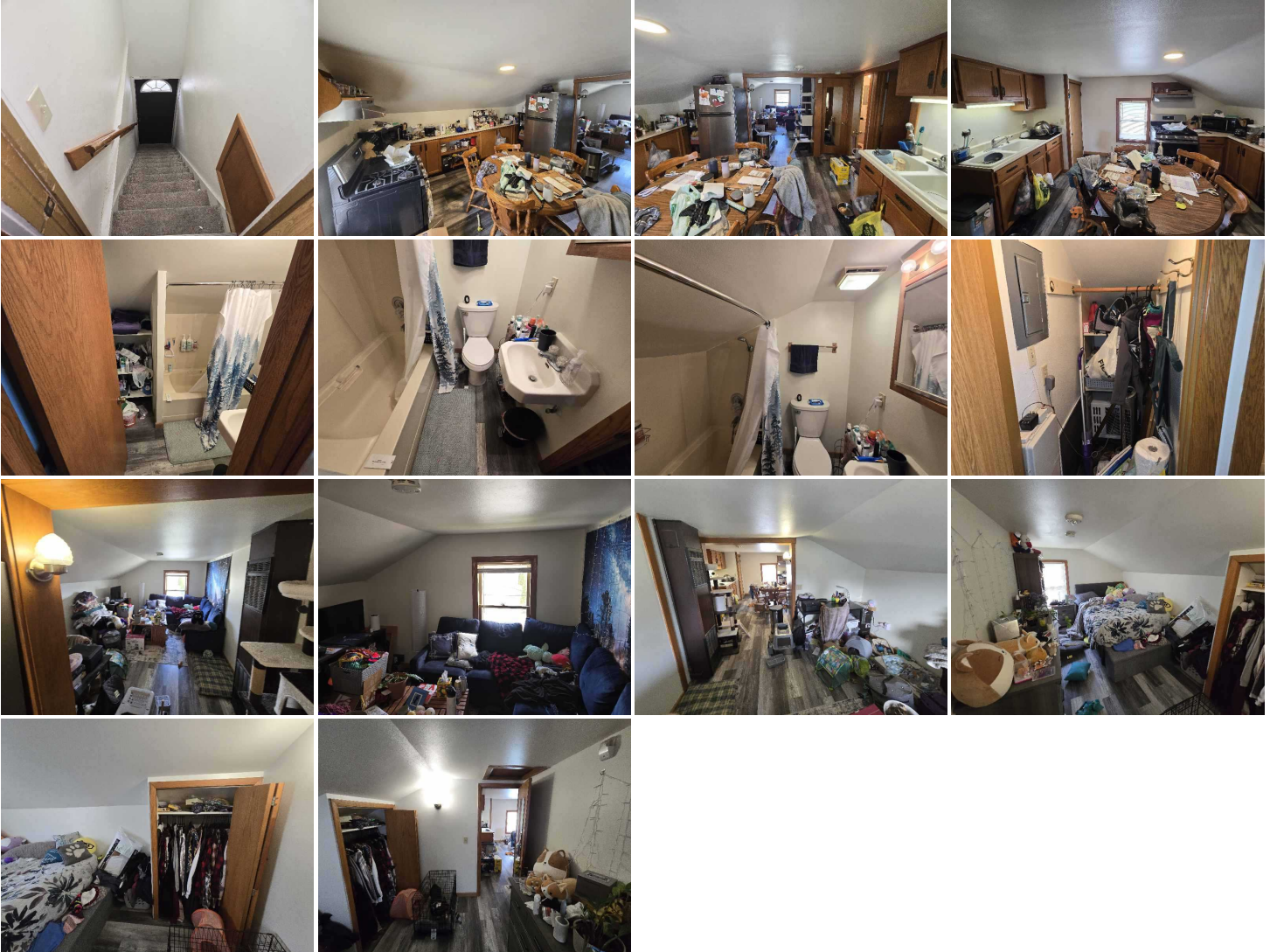


## Overview Pictures (Continued)

Location: (continued)



3. Location: Upper Unit

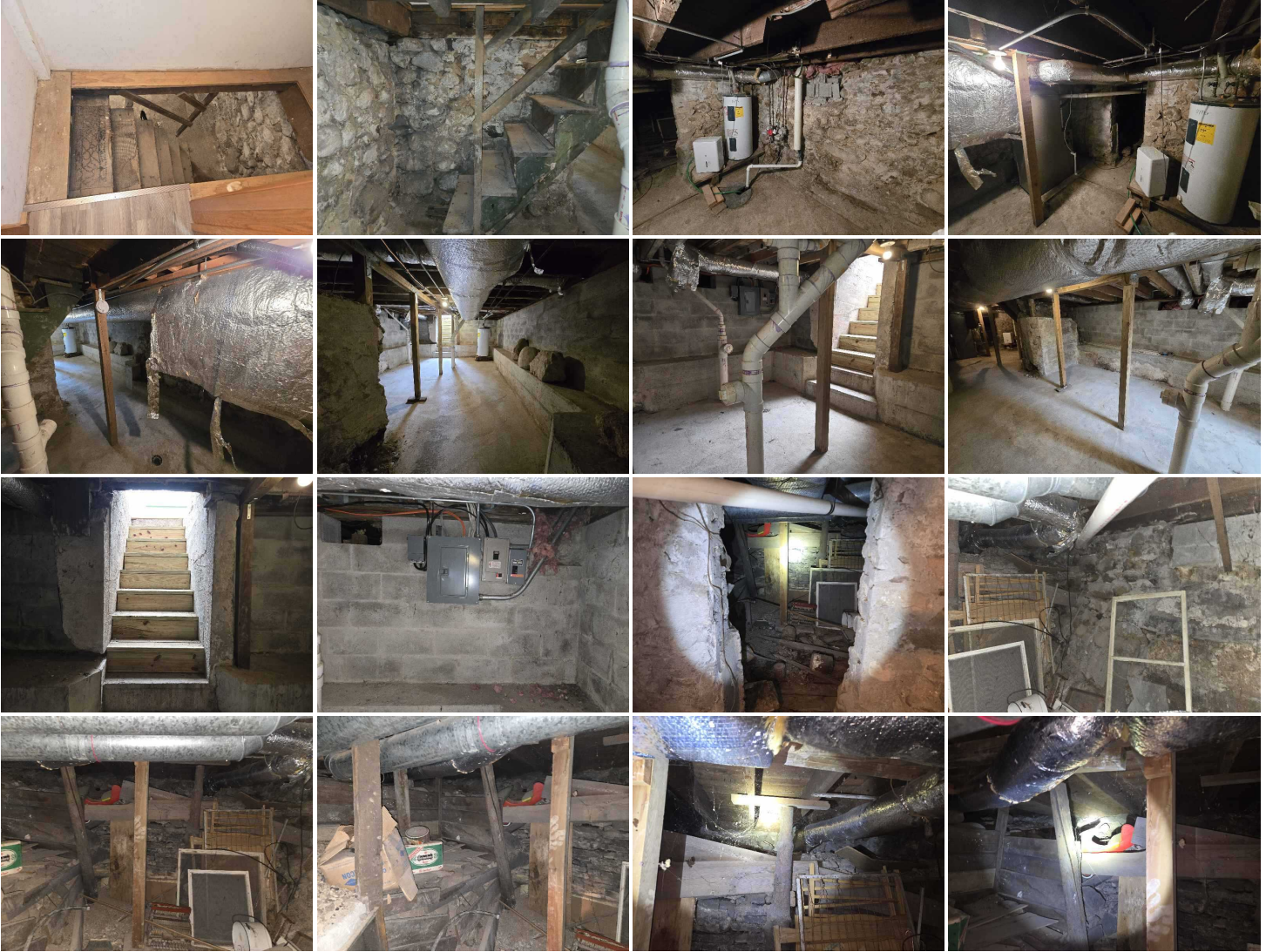






## Overview Pictures (Continued)

## 4. Location: Basement



## 5. Location: Detached Garage







## Overview Pictures (Continued)

Location: (continued)



## Lots and Grounds

EXTERIORS - LOTS AND GROUNDS (a) A home inspector shall observe and describe the condition of all of the following: ... 5. Decks, balconies, stoops, steps and porches including railings. ... 7. Grading, drainage, driveways, patios, walkways, and retaining walls that abut the dwelling unit. (c) A home inspector is not required to observe the following: ... 4. Fences or privacy walls. ... 8. Geological or soil conditions. 9. Recreational facilities. 10. Out-buildings other than garages and carports. 11. Trees, shrubs and other vegetation.

Note: Grade should remain a minimum of 6" below existing siding. Promote positive drainage away from the foundation and extend runoff from roofing and downspouts a minimum of 6' from foundation. Building standards have changed throughout the years. The deck / porch / balcony attachment to the structure requires certain construction methods to comply with current standards. It may be common due to the age of the home / structure and current building standards that the deck / porch / balcony may not be attached with proper components. It is common in older deck / porch systems for the vertical wood support posts to be buried below grade. This is no longer a recognized building practice. Not all of the footings maybe visible at the time of inspection. The attached structure(s) are NOT inspected to current code as it is out of the scope of the inspection to do so.

1. Defective

East Driveway: Concrete, Gravel

There are cracks with uneven settling and trip hazards present. Recommend a qualified contractor inspect and repair/ replace as needed.



2. Defective

North Driveway: Concrete

There are cracks with uneven settling and trip hazards present. The driveway has settled towards the front of the Garage causing a trip hazard. Recommend a qualified contractor inspect and repair/ replace as needed.





## Lots and Grounds (Continued)

3. Defective

Walkways: Concrete

There is uneven settling with trip hazards present. The walk slopes towards the Bilco door opening. Recommend a qualified contractor inspect and repair/ replace as needed.



4. Defective

East Porch: Wood, Wood columns

There is wood rot present on the floor boards.

Recommend a qualified contractor inspect and repair/ replace as needed.

Note: Building standards have changed throughout the years. It is common in older homes to have missing railings and/ or spindles that do not meet today's standards. Consider updating to today's standards for safety reasons.

Note: The underside of the porch structure is covered with finish materials, and not all was visible for inspection.



5. Needs Repair

South Porch: Wood, Wood columns

The wood Porch post connection to the concrete footing is missing a proper bracket. There are typical cracks. Recommend a qualified contractor inspect and repair/ replace as needed.







## Lots and Grounds (Continued)

6. Defective

North Porch: Concrete, Metal posts

The North concrete porch is cracked with settlement towards the foundation. There is a trip hazard. A main structural beam is exposed with dry rot present. The West metal post is loose. Recommend a qualified contractor inspect and repair/ replace as needed.



7. Defective

Patio: Concrete

The patio slopes towards the foundation of the building. Recommend repair to slope away from the building for proper water runoff. There is uneven settling with trip hazards present.



8. Not Present

Deck: Not present

9. Not Present

Balcony: Not present

10. Needs Repair

Grading: Negative slope away from the building.

Recommend add more dirt as needed to provide proper drainage



11. Not Present

Window Wells/Egress: Not present

12. Not Present

Retaining Walls: Not present

13. Functional

Trees/Shrubs at Building: Plants

14. Functional

Fence: Chain Link



## Exterior Surface and Components

EXTERIORS - EXTERIOR SURFACE AND COMPONENTS (a) A home inspector shall observe and describe the condition of all of the following: 1. Wall claddings, including type. 2. Flashings and trim. 3. Entryway doors and at least one window per side of a dwelling unit. ... 6. Eaves, soffits and fascias. ... (b) A home inspector shall operate all entryway doors, garage doors, and at least one window per side of a dwelling unit. (c) A home inspector is not required to observe the following: 1. Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories. 2. Locks, latches or other security devices or systems. 3. Intercom systems. ... 5. Insulation or vapor barriers in exterior walls. 6. Safety glazing.

Note: Wood siding should be a minimum of 6" above grade. Detection of the presence of concealed moisture, mold or wood decay or wood destroying insects behind the exterior finishes is beyond the scope of this inspection. Recommend yearly inspection of caulk around siding, windows and doors and any other penetrations. Buildings built prior to 1978 may contain lead-based paint hazards. Lab testing of suspected lead-based paint is required to determine the presence of lead-based paint .

Window, door, and/ or trim flashing may or may not be visible at the exterior. Flashing underneath siding, tape, and house wrap is not visible for inspection. Missing and/ or improper flashing has the potential to lead to unforeseen deterioration.

EIFS (Exterior Insulated Finish Systems) are out of the scope of a home inspection. There are many different types of EIFS. A certified EIFS inspector is required to perform this type of material / installation inspection. Certified EIFS inspectors may be allowed to perform level 1/2/3 or invasive types of inspections that are out of the scope and not allowed during a home inspection.

### Entire Exterior Surface

1. Functional Type: Vinyl siding
2. Needs Repair Trim: Vinyl, Aluminum, Wood  
a proper flashing at the sill.

The South window trim is missing



3. Functional Soffit/ Fascia: Aluminum, Vinyl
4. Needs Repair Entry/Patio Doors: Wood, Metal  
East laundry room door.
5. Not Present Basement Windows: Not present
6. Functional Exterior Lighting: Surface mount
7. Maintenance Hose Bibs: Gate Recommend shutting off exterior hose bibs during the winter months to avoid pipe supply damage and allow interior leaking.
8. Needs Repair Foundation Covering: Stucco The covering has cracks and requires maintenance.



9. Functional Bilco Door: Metal







## Roof

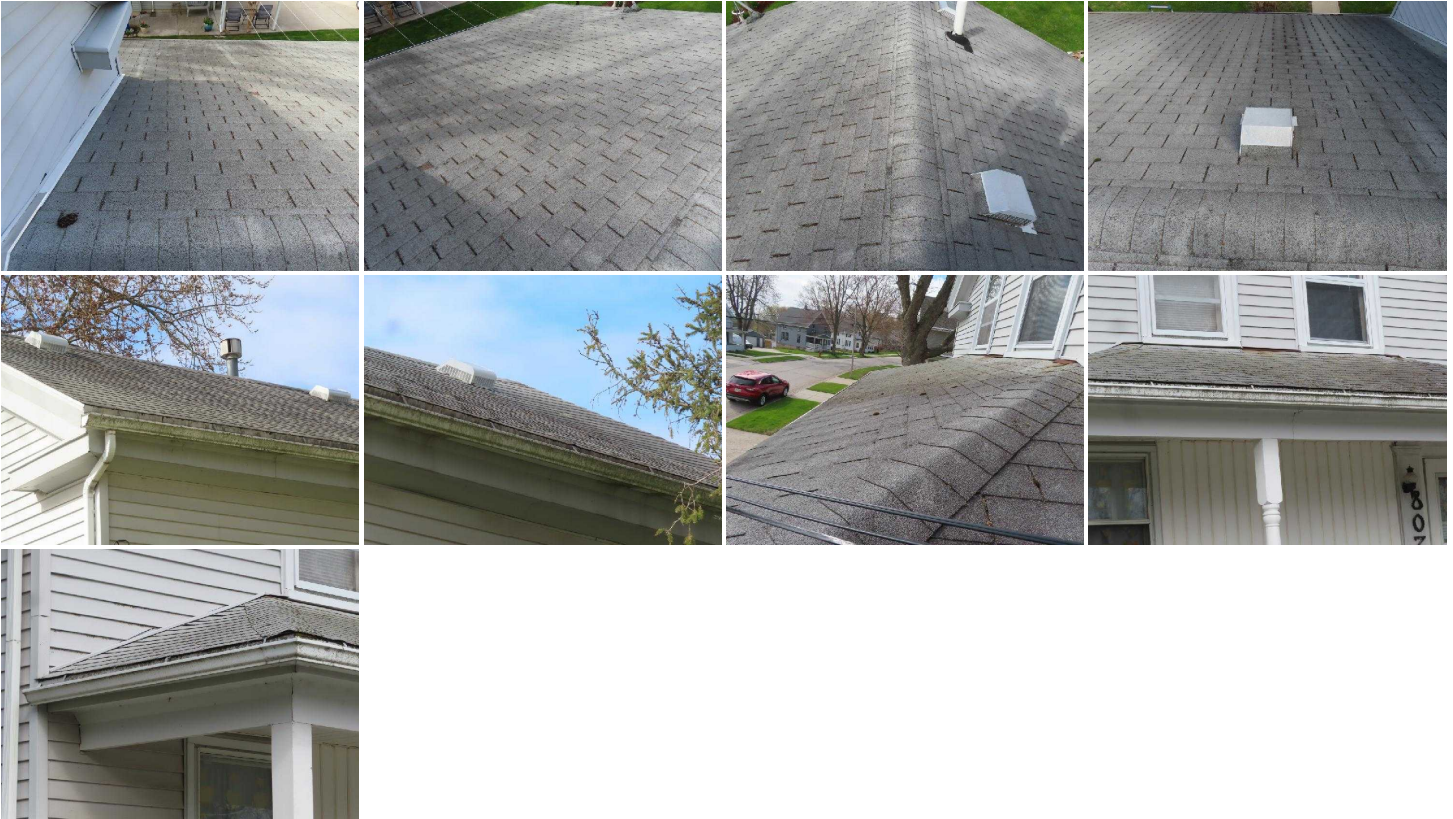
ROOFS. (a) A home inspector shall observe and describe the condition of all of the following: 1. Roof coverings, including type. 2. Roof drainage systems. 3. Flashings. 4. Skylights, chimneys and roof penetrations. 5. Signs of leaks or abnormal condensation on building components. (b) A home inspector shall describe the methods used to observe the roof. (c) A home inspector is not required to do any of the following: 1. Walk on the roofing. 2. Observe attached accessories, including, but not limited to, solar systems, antennae and lightning arrestors. 3. Observe internal gutter and downspout systems and related underground drainage piping.

Recommend yearly inspection of roof, skylights, chimneys and any other components for any maintenance that might be needed. Skylights are susceptible to leakage and condensation. Some chimneys due to height may not be fully inspected.

Over the years building standards have changed. A chimney width of 24 or wider on the roof side should have a cricket/ saddle installed to properly divert the roof water. Chimneys installed in the middle of the roof or on an exterior wall side follow the 3-2-10 standard. This requires that the shortest side of a chimney penetration meet a minimum height of 3. The top is required to be 2 higher than any part of the building within 10.

### 2nd Floor, 1st Floor, Porch Roof Surface

#### 1. Overview Pictures: Pictures



2. Method of Inspection: Ground level, On roof

3. Type: Gable

4. Defective

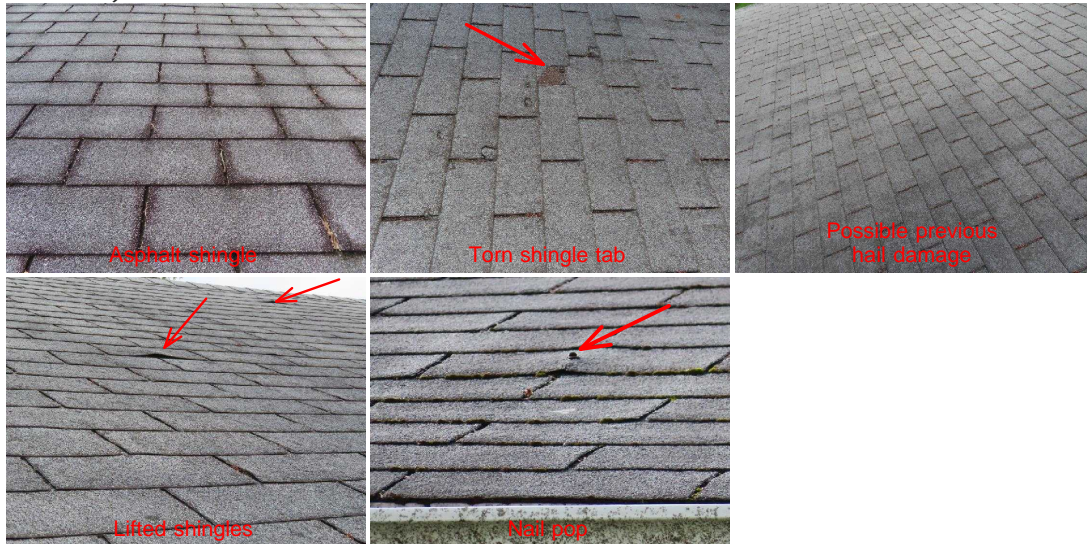
Material: Asphalt shingle

There is a missing shingle tab on the West roof. There is evidence of possible previous hail damage. There are torn shingles and lifted nails present. There is typical granular loss and/ or staining observed. There is moss growth present. Continued typical seasonal maintenance will be required as the roof ages. Recommend a qualified contractor inspect and repair/ replace as needed.



## Roof (Continued)

Material: (continued)



5. Functional      Number of Layers: 1  
 6. Approximate Age: Over 20 years old

7. Defective

Flashing: Rubber, Metal

The rubber boots are torn at the plumbing stacks. Recommend a qualified contractor inspect and repair/ replace as needed.



8. Not Present  
 9. Not Present  
 10. Functional  
 11. Functional  
 12. Needs Repair

Valleys: Not present

Skylights: Not present

Plumbing Vents: PVC

Roof Vent: Static

Gutters: Aluminum

The South upper gutter has an improper pitch. The gutter corners appear to be leaking. Recommend clean debris out of gutters. Recommend a qualified contractor inspect and repair/ replace as needed.







## Roof (Continued)

13. Needs Repair

Downspouts: Aluminum

The SE down spout should be secured.

Note: The West corrugated pipe drain location is unknown.



14. Maintenance

Leaders/Extensions: Aluminum

Recommend properly attach and add proper aluminum leaders where missing and ensure all leaders extend 6 feet beyond the foundation perimeter.



Middle of roof Chimney

15. Method of Inspection: On 1st floor roof

16. Functional Chimney Chase/Cap/Flue: Metal, Metal cap



17. Functional

Chimney Flashing: Metal

## Garage

EXTERIORS - GARAGE (a) A home inspector shall observe and describe the condition of all of the following: 1. Wall claddings, including type. 2. Flashings and trim. 3. Entryway doors and at least one window per side of a dwelling unit. 4. Garage door operators, including whether any garage door operator automatically reverses or stops when meeting reasonable resistance during closing. 5. Decks, balconies, stoops, steps and porches including railings. 6. Eaves, soffits and fascias. 7. Grading, drainage, driveways, patios, walkways, and retaining walls that abut the dwelling unit. (b) A home inspector shall operate all entryway doors, garage doors, and at least one window per side of a dwelling unit. (c) A home inspector is not required to observe the following: 1. Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories. 2. Locks, latches or other security devices or systems. 3. Intercom systems. 4. Fences or privacy walls. 5. Insulation or vapor barriers in exterior walls. 6. Safety glazing. 7. Garage door operator remote control transmitters. 8. Geological or soil conditions. ... 11. Trees, shrubs and other vegetation.

Note: Wood siding should be a minimum of 6" above grade. Detection of the presence of concealed moisture, mold or wood decay or wood destroying insects behind the exterior finishes is beyond the scope of this inspection. Recommend yearly inspection of caulk around siding, windows and doors and any other penetrations. Any peeling paint present is not tested for lead paint as part of this inspection. The garage door safety disconnect/ release cord was not released at the time of inspection. It is out of the scope of the inspection due to being invasive, and avoids property damage.



## Garage (Continued)

### Detached Garage

1. Type of Structure: Detached Car Spaces: 1.5

2. Maintenance Exterior Surface: Masonite

The siding is weathered/ damaged being maintained by paint.



3. Functional

4. Functional

5. Functional

6. Monitor

Trim: Metal, Wood  
Soffit/ Fascia: Wood  
Flashing: Metal  
Roof: Asphalt shingle

There is typical granular loss and/ or staining observed. The roof appears to be functional at time of inspection. Continued typical seasonal maintenance will be required as the roof ages.



7. Not Present

8. Monitor

Valleys: Not present  
Roof Structure: Rafters, Plywood

There is evidence of previous leaking.



9. Functional

10. Functional

11. Not Present

12. Functional

13. Defective

Grading: Negative slope, Minor slope  
Overhead Garage Doors: Wood  
Overhead Door Operation/Opener: Not present  
Exterior Service Doors: Metal  
Ceiling/Walls: Exposed framing

There is daylight present on the West side bottom plate.





## Garage (Continued)

14. Functional Windows: Fixed
15. Further Evaluation Floor/Foundation: Concrete
- The concrete floor is cracked and settled. The settling is allowing the Garage structure to move. There is a cracked rafter present. Recommend a qualified Structural Engineer and Contractor to inspect and repair/ replace as needed.



16. Functional Electrical: 110 V, 110 V GFCI
17. Not Present Heating: Not present
18. Not Present Hose Bibs/Utility Sink: Not present
19. Not Present Gutters: Not present

## Attic

INSULATION AND VENTILATION. (a) A home inspector shall observe and describe the condition of all of the following: 1. The presence or absence of insulation in unfinished spaces. 2. Ventilation of attics and foundation areas. 3. Kitchen, bathroom, and laundry venting systems. (b) A home inspector is not required to observe any of the following: 1. Concealed insulation. 2. Venting equipment which is integrated with household appliances.

Recommend yearly inspection of attic space for any maintenance that might be needed such as mechanical venting issues to roof leaks. Attic components beneath insulation are not inspected.

Note: Vermiculite insulation was a common building product used during building of older homes. Vermiculite has the potential to be an asbestos containing material. Vermiculite may still be present under top layer of insulation.

### Main Attic

#### 1. Overview Pictures: Pictures





## Attic (Continued)

### Overview Pictures: (continued)



2. Method of Inspection: From the attic access
  3. Not Inspected      Unable to Inspect: 50%      Approx 50% not visible, entering attic space is restricted due to undisturbed, blown-in insulation. Attic components beneath insulation are not visible for inspection.
  4. Functional      Roof Framing: Rafters
  5. Functional      Sheathing: Dimensional wood where visible, Plywood where visible
  6. Further Evaluation      Ventilation: Roof      There appears to only be roof exhaust with no intake venting. Recommend intake ventilation be installed to ensure proper air flow in attic space. Recommend a qualified contractor inspect and repair/ replace as needed.
  7. Monitor      Insulation: Blown in cellulose      There is approx 8 inches of insulation. This is common due to the age of the home.
  8. Not Present      Attic Fan: Not present
  9. Not Inspected      Bathroom/Kitchen Fan Venting: Not visible      Not inspected due to not visible.
  10. Monitor      Moisture Penetration: Previous water penetration observed      There was no visible evidence of active moisture penetration into the attic space at the time of inspection.
  11. Not Present      Separation Walls: Not present
  12. Functional      Access Panel/Door: Wood with insulation
- Lower Unit Attic
13. Not Inspected      Unable to Inspect: 100%      There is no access. Be advised that because we could not enter the attic space, hidden problems may exist that are not documented in this report. It is recommended that if/ after access is made available a full examination of the space be made prior to commitment.

## Structure

FOUNDATIONS. A home inspector shall observe and describe the type and condition of the foundation, columns, and flooring systems.

Only the visible portions of the basement walls are observed. Any visible foundation walls that are painted may conceal potential cracks that are not visible at time of inspection. Foundation walls with finishes/ wall coverings, or obstructed by storage or personal items are not visible for inspection. Painted and unfinished walls should always be monitored for any potential movement/ cracking.

1. Not Inspected      Unable to Inspect: 50%      The basement/structure is approx 50% not visible due to inaccessible crawl spaces. Not all components are inspected, only the visible portions.
2. Functional      Structure Type: Wood frame where visible
3. Monitor      Interior Foundation: Block, Poured concrete, Stone      The block/concrete North wall is plumb with cracks. The East wall could not be measured due to the type of material and crawl space. The block/concrete South wall is plumb. The block/concrete West wall is plumb.







## Structure (Continued)

4. Further Evaluation Beams: Wood were visible, Steel I-Beam where the concrete Porch has settled that has dry rot present. There are several visible wood beams present with dry rot in the Basement at the West wall, South bearing wall and the mid bearing wall. There are home made metal joist hangers holding floor joists with previous repairs. There are lag bolt fasteners present. No evaluation could be made to verify proper repairs. Recommend a Structural Engineer and qualified Contractor to inspect and repair/ replace as needed.





## Structure (Continued)

### 5. Further Evaluation Piers/Posts/Columns: Wood

The vertical wood posts has metal brackets which appear to have improper fasteners with improper attachment to the Structure. There are no visible footings. The posts are water stained at the floor. Recommend a Structural Engineer and qualified Contractor to inspect and repair/ replace as needed.



6. Functional

Bearing Walls: Block, Stone

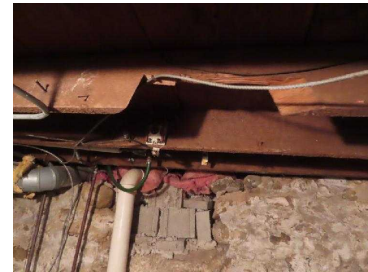
7. Functional

Box Sill Insulation: Spray Foam where visible, Batting where visible

8. Monitor

Joists/Trusses: Wood joists where visible  
There is a notched joist near the furnace. See Beam note.

There is a



9. Functional

Subfloor: Dimensional wood where visible, Plywood where visible

10. Functional

Floor/Slab: Concrete where visible





## Basement

FOUNDATION, COLUMNS, FLOORING. A home inspector shall observe and describe the type and condition of the foundation, columns, and flooring systems.

Note: To help ensure a dry basement, the gutters, downspouts and extensions, grading, sidewalks, patios and driveways need to have proper pitch away from the foundation.

### Main Basement

1. Functional
2. Not Present
3. Monitor

Ventilation: Present

Utility Sink: Not present

Moisture Location: West wall, East wall  
There was no visible evidence of active seepage penetration into the basement at the time of inspection.



4. Defective

Basement Stairs/Railings: Wood stairs with wood handrails  
Note: Building standards have changed throughout the years. It is common in older homes to not have railing systems with multiple steps present, and does not meet today's standards. There are large riser heights. Consider updating to today's standards for safety reasons.



## Crawl Space

FOUNDATION, COLUMNS, FLOORING. A home inspector shall observe and describe the type and condition of the foundation, columns, and flooring systems.

Note: To help ensure a dry crawlspace, the gutters, downspouts and extensions, grading, sidewalks, patios and driveways need to have proper pitch away from the foundation.

### North Crawl Space

1. Overview Pictures: Pictures



2. Method of Inspection: Not visible

3. Not Inspected

Unable to Inspect: 100%  
The access is blocked and not inspected. Be advised that because we could not enter the crawlspace, hidden problems may exist that are not documented in this report. It is recommended that after obstructions are removed a full examination of the space be made



## Crawl Space (Continued)

Unable to Inspect: (continued)  
prior to commitment.

### East Crawl Space

#### 4. Overview Pictures: Pictures



5. Method of Inspection: In the crawl space

6. Not Inspected Unable to Inspect: 50%

Approx. 50% not visible due to contents and structure present.

7. Functional Access: Open to basement

8. Monitor Moisture Location: Several locations  
was no evidence of visible current leaking.

There are water stains present on the walls There

9. Needs Repair Moisture/Vapor Barrier: Not present

Recommend add moisture barrier.

10. Functional Ventilation: Open to basement

11. Not Inspected Insulation: Not visible

Not visible for inspection.

12. Further Evaluation Beams/Posts: Wood  
There is evidence of previous repairs present. There appears to be improper attachments, missing metal brackets, falling wood walls and debris. There is evidence of settlement in the Lower units Bedrooms/Hallway above this area. Recommend a Structural Engineer and qualified Contractor to inspect and repair/ replace as needed.

### South Crawl Space

#### 13. Overview Pictures: Pictures

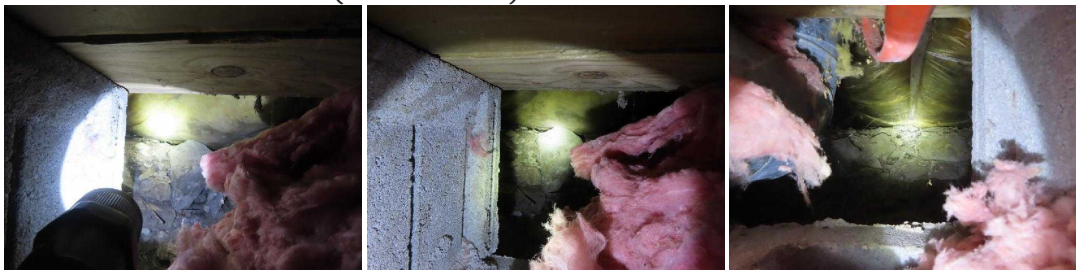






## Crawl Space (Continued)

### Overview Pictures: (continued)



14. Method of Inspection: From the access

15. Not Inspected Unable to Inspect: 75%

The crawl space/structure is approx 75% covered with, duct work, vapor barrier, insulation and previous repairs. There is limited access. Not all components are inspected, only the visible portions.

16. Functional Access: Open to basement

17. Monitor Moisture Location: Several locations

There is evidence of previous water damage.

18. Needs Repair Moisture/Vapor Barrier: Not present

Recommend add moisture barrier over the dirt.

19. Functional Ventilation: Present

20. Defective Insulation: Belly insulation - batts where visible

There is evidence of previous water damage and falling batts present. Recommend a qualified contractor inspect and repair/ replace as needed.

## Plumbing

PLUMBING SYSTEMS. (a) A home inspector shall observe and describe the condition of all of the following: Interior water supply and distribution system, including piping materials, supports, fixtures, faucets, functional flow and drainage, leaks and cross connections. Interior drain, waste and vent systems, including traps, drain, waste, and vent piping, piping supports and leaks. Hot water systems, including water heating equipment, normal operating controls, automatic safety controls, and the exterior surfaces of chimneys, flues, and vents. Fuel storage and distribution systems, including interior fuel storage equipment, supply piping, venting, supports, and leaks. Sump pumps. A home inspector shall operate all plumbing fixtures, including their faucets and accessible exterior faucets attached to the dwelling unit.

(b) A home inspector is not required to do any of the following: State the effectiveness of anti-siphon devices. Determine whether the water supply and waste disposal systems are public or private. Operate automatic safety controls or sump pumps equipped with internal or water dependent switches. Operate any valve except water closet flush valves, fixture faucets and hose faucets. Observe water conditioning systems, fire and lawn sprinkler systems, on-site water supply quantity and quality, on-site disposal systems, foundation drainage systems, or spas. Observe the interior of flues, chimneys and vents, or solar water heating systems. Observe any exterior plumbing components such as water mains or swimming pools. Determine water temperature. Determine the proper size, design or use of plumbing materials.

Note: This is a visual inspection only. Concealed portions of the plumbing system including but not limited to: Wells, Main utility lines and Septic systems are excluded. Also exempt from this report are Pools, Saunas & Hot Tubs, Steam Showers, Water Softeners, Sprinkler Systems, Lawn Watering Systems and Solar Powered Systems. Lead water service laterals should be replaced with proper industry standard piping.

Gray water systems are designed to remove interior waste water only. Typically they are not part of the foundation drain tile system. These systems are covered and cannot be fully inspected for function.

In older construction, palmer valves were common as a backflow preventer in the basement floor drain. Palmer valves are known to fail as they age. Palmer valves may not be visible at time of inspection and are not inspected for function. Palmer valves are outside the scope of this inspection. May want to consider further evaluation by a licensed plumber for verification if system is present and functioning properly. Only the visible, accessible gas lines may be tested for leaks at the time of inspection. Gas lines covered with finish materials, or inaccessible were not tested at time of inspection.

Bathtub overflows are not inspected for function. It is out of the scope for the inspection to fill the tub and test this component.

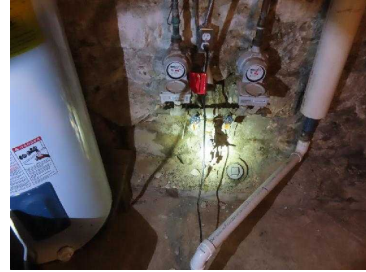


## Plumbing (Continued)

1. Defective

Service Line: Lead

The main water supply line to the home is lead material. Lead water lines are common to the period the home was built. This material may allow lead to leach into the drinking water and cause safety concerns. Consider contacting the local municipality to see if updating to current material standards is an option.



2. Functional

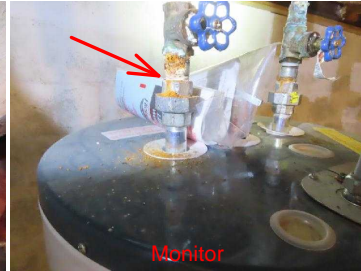
Main Water Shutoff: Basement

3. Maintenance

Water Lines: Copper

There are missing caps at shut offs.

There is evidence of past/ present water leaks, dry at time of inspection, monitor for leaks, may need replacement in near future.



4. Functional

Water Line Supports: Metal

5. Functional

Interior Drain/Vent Pipes: PVC

6. Functional

Interior Drain/Vent Pipe Supports: Plastic

7. Functional

Floor Drain: Surface drain

8. Further Evaluation

Palmer Valve: Not visible

Older homes commonly have a palmer valve present in the sub level of basement floor drain. Palmer valves are not typically visible from the basement floor drain. Due to the age of the system, palmer valves may be corroded and not functional. Palmer valves are not inspected for proper operation during the inspection. Recommend a licensed plumber for further evaluation.

9. Functional

Gas Meter: Exterior mount



10. Defective

Gas Service Lines: Black pipe

There is one gas leak observed at time of inspection, see orange tag. Recommend a qualified, licensed plumbing contractor inspect and repair/ replace as needed.



11. Functional

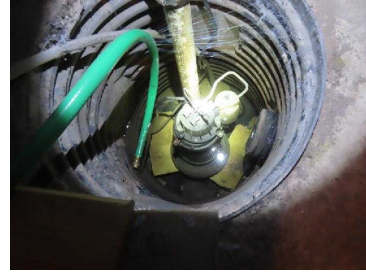
Gas Service Line Supports: Metal





## Plumbing (Continued)

12. Functional Sump Pump / Exterior Discharge: Submerged



13. Further Evaluation Lateral/ Clean-Out: Accessible  
 Note: The drain-line lateral to the street is not visible for inspection. Mature tree roots can damage the drain system and cause water to back up into the home. Recommend a qualified, licensed plumbing contractor inspect and repair/ replace as needed.

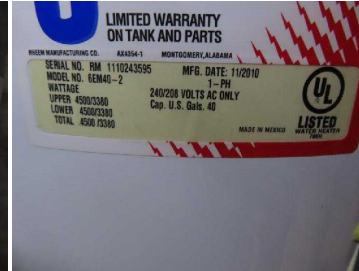


### Basement - Lower Unit Water Heater

14. Monitor Water Heater Operation: Functional at time of inspection

Monitor due to age.

15. Manufacturer: Richmond



16. Type: Electric Capacity: 40 Gal.

17. Approximate Age: 15 years old Area Served: Unit only

18. Not Present Flue Pipe: Not present

19. Needs Repair TPRV and Drain Tube: Copper  
 Recommend add proper TPR pipe for safety.

Recommend add proper



20. Functional

Water Temperature: Inspected The water temperature is 115 degrees. Recommended temperature is 120 degrees max.



### Basement - Upper Unit Water Heater

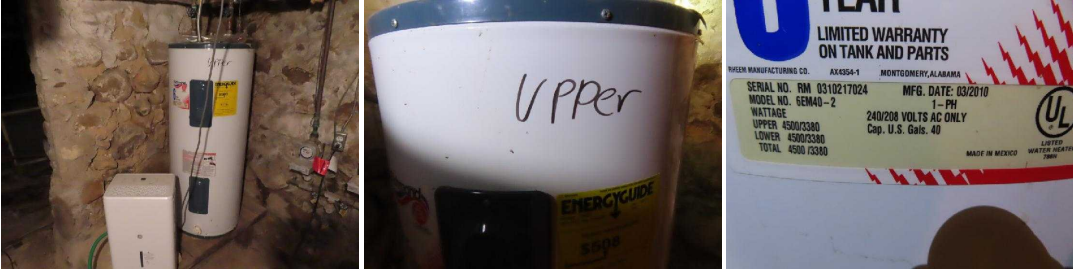
21. Monitor Water Heater Operation: Functional at time of inspection

Monitor due to age.



## Plumbing (Continued)

22. Manufacturer: Richmond



23. Type: Electric Capacity: 40 Gal.

24. Approximate Age: 15 years old Area Served: Unit only

25. Not Present Flue Pipe: Not present

26. Functional TPRV and Drain Tube: Copper

27. Functional Water Temperature: Inspected The water temperature is 111 degrees. Recommended temperature is 120 degrees max.



## Electrical

**ELECTRICAL SYSTEMS.** (a) A home inspector shall observe and describe the condition of all of the following: 1. Service entrance conductors. 2. Service equipment, grounding equipment, main over current device. 3. Main and distribution panels, including their location. 4. Amperage and voltage ratings of the service, including whether service type is overhead or underground. 5. Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages, including any aluminum branch circuit wiring. 6. The operation of a representative number of installed lighting fixtures, switches and receptacles located inside the house, garage and any exterior walls. 7. The polarity and grounding of all receptacles within 6 feet of interior plumbing fixtures, in the garage or carport, and on the exterior of inspected structures. 8. The operation of ground fault circuit interrupters. 9. The functionality of the power sources for smoke detectors. (b) A home inspector is not required to do any of the following: 1. Insert any tool, probe or testing device inside the panels. 2. Test or operate any over current device except ground fault circuit interrupters. 3. Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. 4. Observe low voltage systems, telephones, security systems, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution systems. 5. Measure amperage, voltage or impedance. Inspect or test a built in vacuum system.

Note: This is a general, visual inspection of the accessible portions of the buildings electrical system. Recommend grounded and GFCI protected outlets at all exterior, kitchen, bathrooms, wet bar, garage and unfinished basement outlets. Testing of low voltage items, such as smoke detectors, carbon monoxide detectors, alarms, timers, low voltage general lighting, back-up generator systems, antenna's, cell phone towers, door bells, intercom/ entertainment systems, security, pet containment systems, etc. are beyond the scope of this inspection.

Smoke detectors and carbon monoxide detectors should be located within the building per recommended NFPA and manufacturer's guidelines, State of Wisconsin laws and local municipality laws. They should be tested and batteries should be replaced at intervals recommended by manufacture.

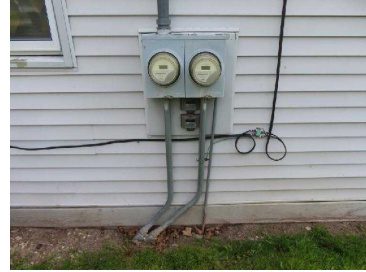
1. Service Size Amps: 2-100 Volts: 110-240 v



## Electrical (Continued)

2. Functional

Service: Copper



3. Functional

Electrical Mast: Mast with tie back at siding

4. Defective

Electrical Outlets/Components: 110 V, 110 V GFCI  
The Lower unit laundry room is missing a cover plate.

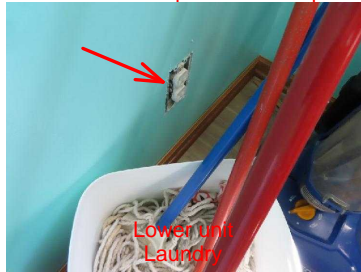
The Lower unit laundry room is

The Lower unit South Bedroom cover is cracked.

There is an outlet with a reversed hot/ neutral wiring present in the Upper Units 1st Floor Laundry Room.

The Upper Unit West Kitchen wall outlet is melted.

There appears to be an improper wire splice in the Attic space. Recommend a licensed, qualified electrician inspect and repair/ replace as needed.



Lower Unit Laundry



Lower unit South Bedroom



Upper Units 1st Floor Laundry Room



Upper Unit West Kitchen wall outlet



Upper Unit West Kitchen wall outlet



Attic

5. Functional

120/240 V Branch Circuits: Copper where visible

6. Functional

Conductor Type: Romex, BX, Conduit

7. Functional

Ground: Water line only visible

8. Maintenance

Co/ Smoke Detectors: Battery operated  
Recommend remove old yellow detectors and add new Smoke and CO detectors per NFPA and manufacture recommended locations.





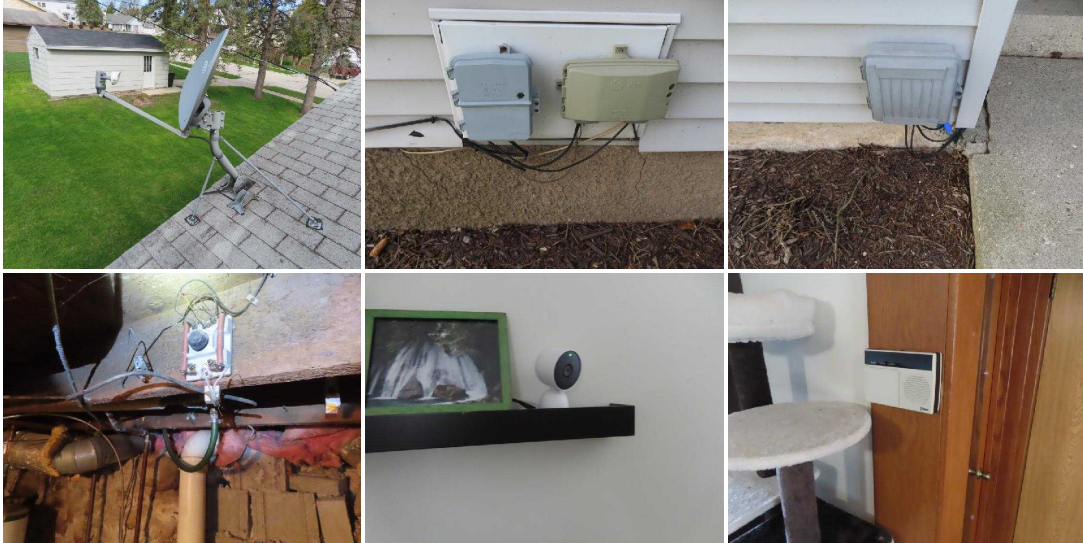


## Electrical (Continued)

9. Not Inspected

Low Voltage Wiring: Hard wired

Not inspected. Testing of low voltage items, such as smoke detectors, carbon monoxide detectors, alarms, timers, low voltage general lighting, back-up generator systems, antenna's, cell phone towers, door bells, intercom/ entertainment systems, security, pet containment systems, etc. are beyond the scope of this inspection.

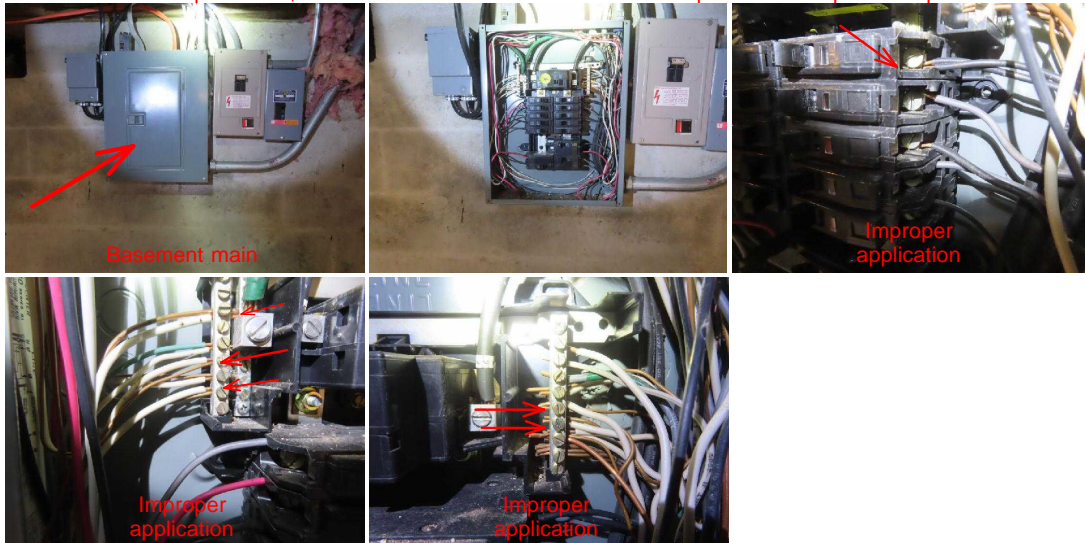


Basement - Main Electric Panel

10. Defective

Manufacturer: Square D

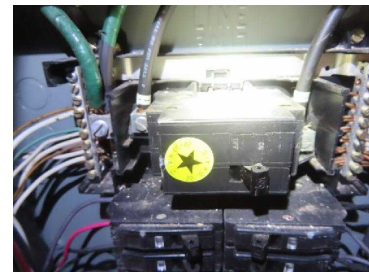
There is an improper double tap present. There are neutral conductor(s) sharing a common screw on the bus bar with ground wire(s). This application is improper. Recommend a qualified, licensed electrical contractor inspect and repair/ replace as needed.



11. Maximum Capacity: 100 Amps

12. Functional

Main Breaker Size: 100 Amps





## Electrical (Continued)

13. Functional Breakers: Present

14. Not Present AFCI : Not present

15. Not Present GFCI : Not present

Basement - Sub Electric Panel

16. Defective

Manufacturer: Cutler-Hammer

There appears to be triple taps present on the Main breaker. There is a live wire missing a wire nut. Recommend a qualified, licensed electrical contractor inspect and repair/ replace as needed.

Note: This panel was not labeled. Recommend verify what this panel services.



17. Maximum Capacity: 125 Amps

18. Functional Main Breaker Size: 125 Amps



19. Functional Breakers: Present

20. Not Present AFCI : Not present

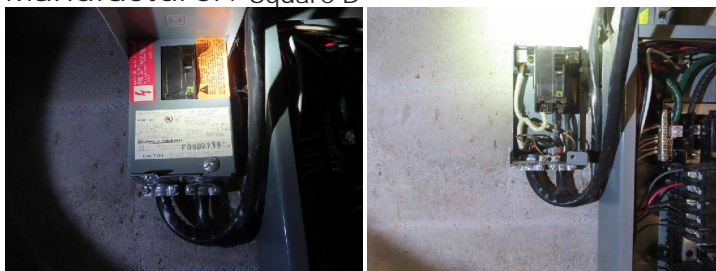
21. Not Present GFCI : Not present

22. Functional Is the Panel Bonded: Yes

Basement - Sub Electric Panel

23. Functional

Manufacturer: Square D



24. Maximum Capacity: 60 Amps





## Electrical (Continued)

25. Further Evaluation Main Breaker Size: Unknown The main breaker size could not be determined.  
Recommend a qualified, licensed electrical contractor inspect and repair/ replace as needed.

Note: This panel was not labeled. Recommend verify what this panel services.

26. Functional Breakers: Present  
27. Not Present AFCI : Not present  
28. Not Present GFCI : Not present  
29. Functional Is the Panel Bonded: Yes  
Basement - Sub Electric Panel

30. Further Evaluation Manufacturer: Square D Note: This panel was not labeled. Recommend verify what this panel services.

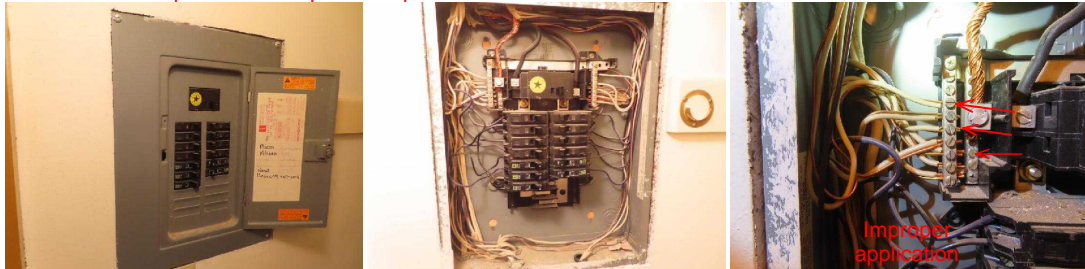


31. Maximum Capacity: 70 Amps  
32. Functional Main Breaker Size: 30 Amps



33. Functional Breakers: Present  
34. Not Present AFCI : Not present  
35. Not Present GFCI : Not present  
36. Functional Is the Panel Bonded: Yes  
Upper Unit - Main Electric Panel

37. Defective Manufacturer: Square D There are neutral conductor(s) sharing a common screw on the bus bar with ground wire(s). This application is improper. Recommend a qualified, licensed electrical contractor inspect and repair/ replace as needed.

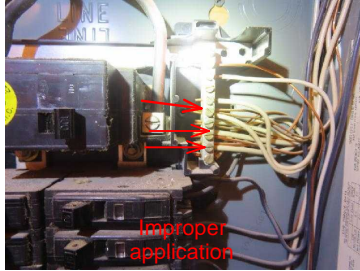






## Electrical (Continued)

Manufacturer: (continued)



38. Maximum Capacity: 100 Amps

39. Functional Main Breaker Size: 100 Amps



40. Functional

Breakers: Present

41. Not Present

AFCI : Not present

42. Not Present

GFCI : Not present

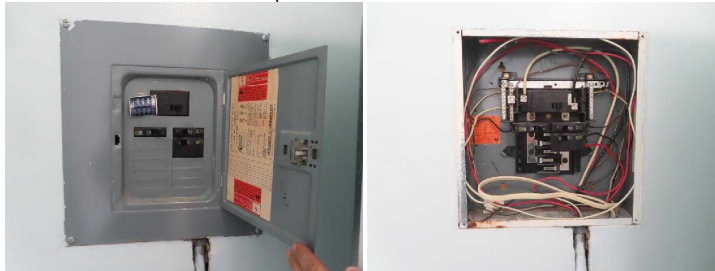
43. Functional

Is the Panel Bonded: Yes

Lower Unit Laundry Room - Main Electric Panel

44. Functional

Manufacturer: Square D



45. Maximum Capacity: 100 Amps

46. Functional Main Breaker Size: 100 Amps



47. Functional

Breakers: Present

48. Not Present

AFCI : Not present

49. Not Present

GFCI : Not present

50. Functional

Is the Panel Bonded: Yes



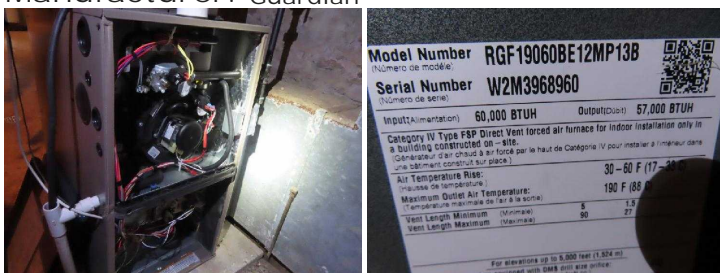
## Heating System

HEATING SYSTEMS. (a) A home inspector shall observe and describe the condition of all of the following within a permanently installed heating system: 1. Heating equipment and distribution systems. 2. Normal operating controls and energy source. 3. Automatic safety controls. 4. Exterior surfaces of chimneys, flues and vents. 5. Solid fuel heating devices. 6. The presence of an installed heat source in each room. (b) A home inspector shall operate the systems using normal operating controls and open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance. (c) A home inspector is not required to do any of the following: 1. Operate heating systems when weather conditions or other circumstances may cause equipment damage. 2. Operate automatic safety controls. 3. Ignite or extinguish fuel fires. 4. Observe the interior of flues, fireplace insert flue connectors, humidifiers, electronic air filters, or the uniformity or adequacy of heat supply to the various rooms. 5. Observe a heat exchanger unless it is readily observable and normally accessible to an occupant of a dwelling unit.

Note: The mechanical equipment is tested for functional operation at time of inspection only. No life expectancy is expressed or implied. The inspection does not determine the balancing or sizing of the system. The inspection covers only the visible components. Hidden problems may exist that are not documented in this report. Recommend an annual cleaning and servicing for best performance and life expectancy.

### Basement - Lower Unit Heating System

1. Functional Heating System Operation: Functioning
2. Manufacturer: Guardian



3. Type: Forced air Capacity: 60,000 BTU
4. Area Served: Lower Unit Approximate Age: 2 years old
5. Fuel Type: Natural gas
6. Functional Thermostat: Programmable
7. Functional Heat Exchanger/Flame: 3 Burner, Blue efficiency is 98.4 %.

The exhaust carbon monoxide is 78 ppm. The



8. Functional
9. Maintenance

Blower Fan: Direct drive

Filter: Disposable filter

The filter is dirty, recommend replacement. Recommend add filter cover to the filter rack to seal return plenum properly.





## Heating System (Continued)

10. Maintenance

Distribution: Metal duct where visible  
insulation present.

There is falling



11. Not Present

Humidifier: Not present

12. Functional

Flue Pipe: PVC

13. Functional

Condensate Removal: Plastic tubing

Upper Unit Heating System

14. Monitor

Heating System Operation: Functioning  
dirty. Monitor due to age.

The cabinet is



15. Functional

Manufacturer: Warm Morning



16. Type: Forced air Capacity: Unknown BTU

17. Area Served: Upper Unit Approximate Age: 30+ years old

18. Fuel Type: Natural gas

19. Functional

Thermostat: Programmable

20. Functional

Heat Exchanger/Flame: Blue/Orange  
efficiency is 78.3%.

The exhaust carbon monoxide is 24 ppm. The



21. Functional

Blower Fan: Direct drive

22. Not Present

Filter: Not present

23. Functional

Distribution: Wall unit

24. Not Present

Humidifier: Not present





## Heating System (Continued)

25. Defective

Flue Pipe: Metal single wall, Metal double wall - B Vent

Class B Vent requires a 1" clearance to combustibles per UL listing. There was no evidence of heat marks at the time of inspection.

Recommend a licensed, qualified contractor inspect and repair/ replace as needed.



26. Not Present

Condensate Removal: Not present

## Air Conditioning

CENTRAL AIR CONDITIONING. (a) A home inspector shall observe and describe the condition of all of the following: 1. Cooling and air handling equipment, including type and energy source. 2. Normal operating controls. 3. The presence of an installed cooling source in each room. (b) A home inspector shall operate the systems, using normal operating controls, and open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance. (c) A home inspector is not required to do any of the following: 1. Operate cooling systems when weather conditions or other circumstances may cause equipment damage. 2. Observe non-central air conditioners. 3. Observe the uniformity or adequacy of cool-air supply to the various rooms. 4. Operate electronic air filters. 5. Observe the pressure of the system coolant or determine the presence of leakage. 6. Test the electrical current drawn by the unit.

Note: The mechanical equipment is tested for functional operation at time of inspection only. No life expectancy is expressed or implied. The inspection does not determine the balancing or sizing of the system. The inspection covers only the visible components. Hidden problems may exist that are not documented in this report. Recommend an annual cleaning and servicing for best performance and life expectancy.

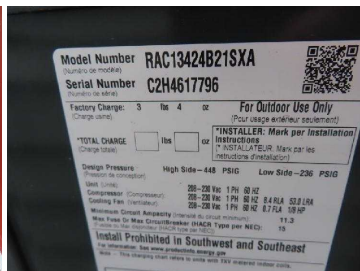
### Main AC System

1. Not Inspected

A/C System Operation: Appears serviceable  
degrees for last 12 hours, the unit was not inspected.

Due to season temperature of below 65

2. Manufacturer: Guardian



3. Functional

Exterior Unit: Pad mounted

4. Type: Central A/C

5. Functional Condensate Removal: Plastic tubing

6. Area Served: Lower Unit Approximate Age: 1 year old

7. Fuel Type: 240 VAC

8. Functional Electrical Disconnect: Breaker

9. Functional Refrigerant Lines: Serviceable condition



## Finished Rooms

INTERIORS. (a) A home inspector shall observe and describe the condition of all of the following: 1. Walls, ceilings and floors. 2. Steps, stairways, balconies and railings. 3. Counters and all sink base cabinets. 4. A random sample of doors and windows. 5. Separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit. 6. Signs of water penetration into the building or signs of abnormal or harmful condensation on building components. (b) A home inspector is not required to observe any of the following: 1. Paint, wallpaper, and other cosmetic finish treatments on the interior walls, ceilings and floors. 2. Carpeting. 3. Draperies, blinds or other window treatments. 4. Household appliances. 5. Recreational facilities or another dwelling unit.

Note: This section includes all interior spaces, such as entries, hallways, living rooms, dining rooms, bedrooms, bathrooms, offices, dens, finished basements, etc. The inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. Typical wall/ ceiling minor cracks/ touch-ups are considered minor and are not included in the report. Building standards have changed throughout the years; it is common in older homes to have railing heights and spindle distances that do not meet today's standards. Buildings built prior to 1978 may contain lead-based paint hazards. Lab testing of suspected lead-based paint is required to determine the presence of lead-based paint .

### Lower Unit Finished Room

- |                |   |  |
|----------------|---|--|
| 1. Functional  | Ceiling/Walls: Paint, Wood trim                             |  |
| 2. Functional  | Floors: Carpet, Vinyl floor covering, Wood laminate (Vinyl) |  |
| 3. Maintenance | Doors: Wood   | The East door needs adjustment to open/latch properly. |



- |                |  |  |
|----------------|--|--|
| 4. Maintenance | Windows: Wood double hung, Wood slider | The Laundry room window requires prime/ paint maintenance. |
|----------------|--|--|



Laundry room window

- |               |                         |
|---------------|-------------------------|
| 5. Functional | HVAC Source: Forced air |
|---------------|-------------------------|

### Upper Unit Finished Room

- |                |  |
|----------------|--|
| 6. Functional  | Ceiling/Walls: Paint, Wood trim                  |
| 7. Functional  | Floors: Vinyl floor covering                     |
| 8. Functional  | Doors: Wood                                      |
| 9. Functional  | Windows: Wood double hung                        |
| 10. Functional | HVAC Source: Wall Furnace                        |
| 11. Functional | Stairs/Railings: Carpet stairs and wood railings |



## Bathroom

INTERIORS. (a) A home inspector shall observe and describe the condition of all of the following: 1. Walls, ceilings and floors. 2. Steps, stairways, balconies and railings. 3. Counters and all sink base cabinets. 4. A random sample of doors and windows. 5. Separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit. 6. Signs of water penetration into the building or signs of abnormal or harmful condensation on building components. (b) A home inspector is not required to observe any of the following: 1. Paint, wallpaper, and other cosmetic finish treatments on the interior walls, ceilings and floors. 2. Carpeting. 3. Draperies, blinds or other window treatments. 4. Household appliances. 5. Recreational facilities or another dwelling unit.

Note: The inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. Typical wall/ ceiling minor cracks/ touch-ups are considered minor and are not included in the report.

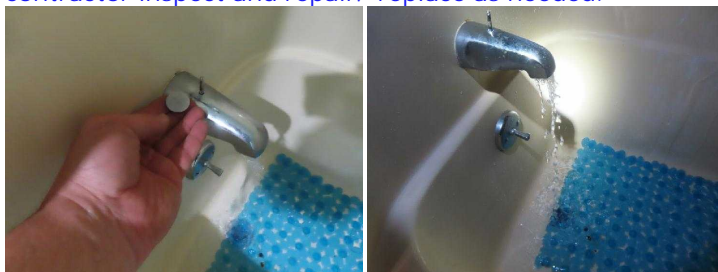
Exhaust fans should be present in all baths with tubs/ showers and should be operated long enough to remove humidity to eliminate the potential for mold and mildew.

### Lower Unit Bathroom

- |                  |                                       |   |
|------------------|---------------------------------------|---|
| 1. Maintenance   | Counter/Cabinet: Laminate, Wood       | Recommend caulk maintenance to counter top at wall. |
| 2. Functional    | Sink/Basin: Molded single bowl        |   |
| 3. Not Inspected | Fixtures/Plumbing: PVC, Chrome faucet | Not inspected due to contents present.              |



- |                 |  |   |
|-----------------|--|---|
| 4. Needs Repair | Tub/Shower/Surround: Fiberglass tub and surround | The shower diverter is not functioning properly, all water is not flowing to showerhead. The pull is loose. Recommend a qualified contractor inspect and repair/ replace as needed. |
|-----------------|--|---|



- |              |                   |  |
|--------------|-------------------|--|
| 5. Defective | Toilets: Standard | The toilet is loose at the floor. Recommend a qualified, licensed plumbing contractor inspect and repair/ replace as needed. |
|--------------|-------------------|--|



- |               |                                       |
|---------------|---------------------------------------|
| 6. Functional | Ventilation: Electric ventilation fan |
|---------------|---------------------------------------|

### Upper Unit Bathroom

- |               |  |
|---------------|--|
| 7. Functional | Sink/Basin: Pedestal                             |
| 8. Functional | Fixtures/Plumbing: PVC, Chrome, Chrome faucet    |
| 9. Functional | Tub/Shower/Surround: Fiberglass tub and surround |





## Bathroom (Continued)

10. Defective

Toilets: Standard

The toilet is loose at the floor. Recommend a qualified, licensed plumbing contractor inspect and repair/ replace as needed.



11. Functional

Ventilation: Electric ventilation fan

## Kitchen

INTERIORS. (a) A home inspector shall observe and describe the condition of all of the following: 1. Walls, ceilings and floors. 2. Steps, stairways, balconies and railings. 3. Counters and all sink base cabinets. 4. A random sample of doors and windows. 5. Separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit. 6. Signs of water penetration into the building or signs of abnormal or harmful condensation on building components. (b) A home inspector is not required to observe any of the following: 1. Paint, wallpaper, and other cosmetic finish treatments on the interior walls, ceilings and floors. 2. Carpeting. 3. Draperies, blinds or other window treatments. 4. Household appliances. 5. Recreational facilities or another dwelling unit.

Note: The inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. Typical wall/ ceiling minor cracks/ touch-ups are considered minor and are not included in the report.

### Lower Unit Kitchen

1. Functional

Refrigerator: Whirlpool

2. Needs Repair

Cooking Appliances: Kenmore

Two burners are inoperative.



3. Functional

Ventilator: General Electric

4. Not Present

Dishwasher: Not present

5. Functional

Counter/Cabinet: Laminate, Wood

6. Functional

Fixtures/Plumbing: PVC, Chrome faucet

7. Functional

Sink/Basin: Porcelain coated

### Upper Unit Kitchen

8. Not Inspected

Cooking Appliances: General Electric

Not inspected for function.

9. Not Present

Dishwasher: Not present

10. Functional

Counter/Cabinet: Laminate, Wood

11. Functional

Fixtures/Plumbing: PVC, Chrome faucet

12. Functional

Sink/Basin: Porcelain coated



## Laundry Room/ area

INTERIORS. (a) A home inspector shall observe and describe the condition of all of the following: 1. Walls, ceilings and floors. 2. Steps, stairways, balconies and railings. 3. Counters and all sink base cabinets. 4. A random sample of doors and windows. 5. Separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit. 6. Signs of water penetration into the building or signs of abnormal or harmful condensation on building components. (b) A home inspector is not required to observe any of the following: 1. Paint, wallpaper, and other cosmetic finish treatments on the interior walls, ceilings and floors. 2. Carpeting. 3. Draperies, blinds or other window treatments. 4. Household appliances. 5. Recreational facilities or another dwelling unit.

Note: The inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. Typical wall/ ceiling minor cracks/ touch-ups are considered minor and are not included in the report. Recommend clean out laundry vent on a regular yearly interval.

### Lower Unit Laundry Room/Area

- |                |   |   |
|----------------|---|---|
| 1. Functional  | Washer and Dryer Electrical: 110 V, 220 V |   |
| 2. Functional  | Washer Drain: Standpipe                   |   |
| 3. Maintenance | Dryer Vent: Metal flex                    | Recommend clean dryer vent prior to first use of appliance. |

### Upper Unit - On 1st Floor Laundry Room/Area

- |                |   |   |
|----------------|---|---|
| 4. Functional  | Washer and Dryer Electrical: 110 V, 220 V |   |
| 5. Maintenance | Dryer Vent: Metal flex                    | Recommend clean dryer vent prior to first use of appliance. |
| 6. Maintenance | Doors: Metal                              | There is an broken insulated glass unit seal at the door.   |



## Environmental

Abandoned fuel tanks may be used for oil fueled boilers, furnaces, and/ or fireplaces. Inspection of fuel tanks are outside the scope of this home inspection. The presence of buried fuel tank(s) is unknown due to not being visible.

Asbestos was a common building product throughout the years. Asbestos containing materials are only health hazardous when made friable / disturbed into the atmosphere. Encapsulation is recommended to avoid health hazard concerns. Lab testing of suspected asbestos containing materials are required to determine the presence of asbestos.

Mildew/ microbial growth may pose a health hazard and should be properly re-mediated. Lab testing of suspected mildew/ microbial growth is required to determine the presence of mildew/ microbial growth.

Buildings built prior to 1978 may contain lead-based paint hazards. Lab testing of suspected lead-based paint is required to determine the presence of lead-based paint .

- |                  |                                      |   |
|------------------|--------------------------------------|---|
| 1. Not Inspected | Fuel Tank/Location: Not visible      | Not inspected due to not visible.   |
| 2. Defective     | Suspected Asbestos: HVAC duct joints | Suspect asbestos observed on duct joints. Not tested at time of inspection. Lab testing of suspected asbestos containing materials are required to determine the presence of asbestos. Recommend a qualified asbestos contractor inspect and repair/ replace as needed. |





## Environmental (Continued)

### 3. Needs Repair

**Peeling Paint: Exterior Components** There is peeling paint present. Paint and caulk maintenance is required. Buildings built prior to 1978 may contain lead-based paint hazards. Testing of suspected lead-based paint is required to determine the presence of lead-based paint. Recommend a qualified contractor inspect and repair/ replace as needed.



### 4. Monitor

**Pests: Dead rodent, Rodent droppings, Rodent traps** There is past/present evidence of rodents. There are preventative pest traps present. There are rodent droppings observed.



## Final Comments

As part of this inspection we did not test for lead paint on premises or test for asbestos containing products on premises.

Thank you for choosing National Property Inspections!

If you have any questions, please feel free to give us a call at 262-636-9909.