



# Your Inspection Report

117 Judge Dr  
Saukville, WI 53080



PREPARED FOR:  
MAGGIE AND CORY REED

INSPECTION DATE:  
Friday, September 12, 2025

PREPARED BY:  
Matt Jaeck



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report

HSH Property Inspection  
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"We stand behind our customers throughout the inspection process and beyond"

# SUMMARY

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

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This Summary outlines potentially significant/adverse defects as identified by your home inspector on the day of the inspections. These items per your home inspectors professional judgement fall within the state identified definition of a defect. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

State of Wisconsin definition of a defect as it pertains to a real estate transaction:

Defect, as defined in section 440.97 (2m), Wis. Stats., means: A condition of any component of an improvement that a home inspector determines, on the basis of the home inspector's judgment on the day of an inspection, would significantly impair the health or safety of occupants of a property or that, if not repaired, removed, or replaced, would significantly shorten or adversely affect the expected normal life of the component of the improvement.

## Scope of the Inspection

A home inspector shall perform a reasonably competent and diligent home inspection of the readily accessible installed systems and components required to be inspected under s. SPS 131.32 to detect observable conditions of an improvement to residential real property.

A reasonably competent and diligent home inspection is not required to be technically exhaustive. Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed.

Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air.

## Priority Maintenance Items

## Roofing

### **SLOPED ROOFING \ Composition shingles**

**Condition:** • Cupping, curling, clawing

**DEFECT** - There are a number of roof repairs that need to be made. There was no visible evidence of active leaking at the time of the inspection. The roof needs to be evaluated and repaired/replaced as deemed necessary by a qualified roofing contractor.

**Implication(s):** Shortened life expectancy of material

**Location:** Exterior Roof

**Task:** Repair or replace Further evaluation Improve Correct

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Time: Immediate



1. Cupping, curling, clawing



2. Cupping, curling, clawing



3. Cupping, curling, clawing



4. Cupping, curling, clawing

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5. Cupping, curling, clawing

## Exterior

### LANDSCAPING \ Patios

**Condition:** • Improper slope or drainage

**DEFECT** - The rear patio has a poor slope and needs to be corrected to move water away from the home not towards it.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Exterior

**Task:** Improve Correct

**Time:** Immediate

**Cost:** Major



6. Improper slope or drainage

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## Structure

### FOUNDATIONS \ Columns or piers

**Condition:** • Poorly secured at top or bottom

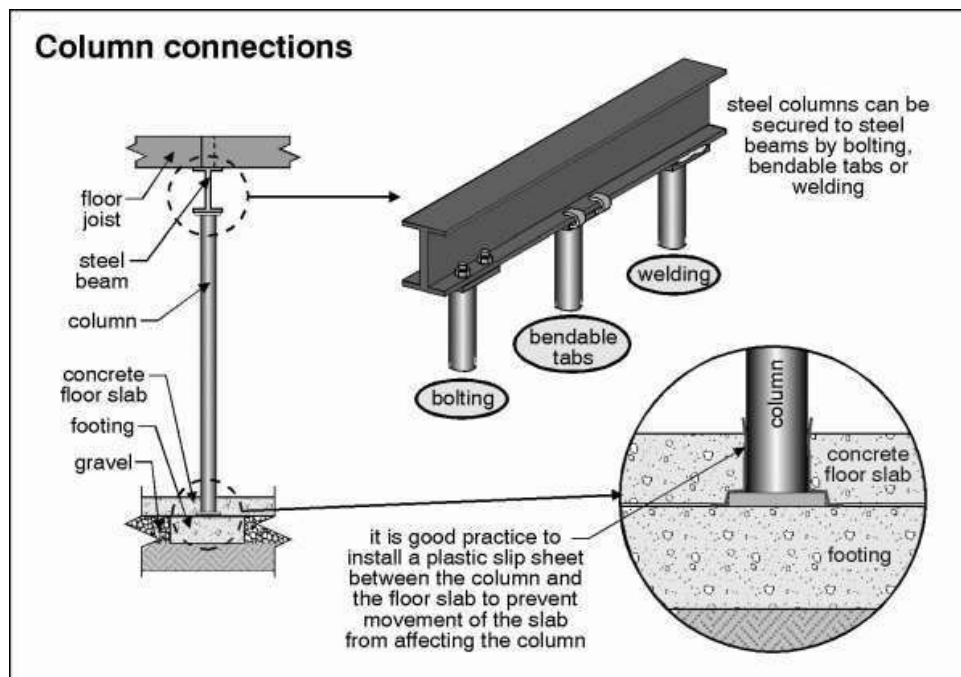
**DEFECT** - The temporary supports used in the basement are not proper permanent structural columns and need to be improved/corrected. There also needs to be a proper footing under each. The columns also need to be secured at the top and bottom.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Various Basement

**Task:** Further evaluation Improve Correct

**Time:** Immediate



7. Poorly secured at top or bottom

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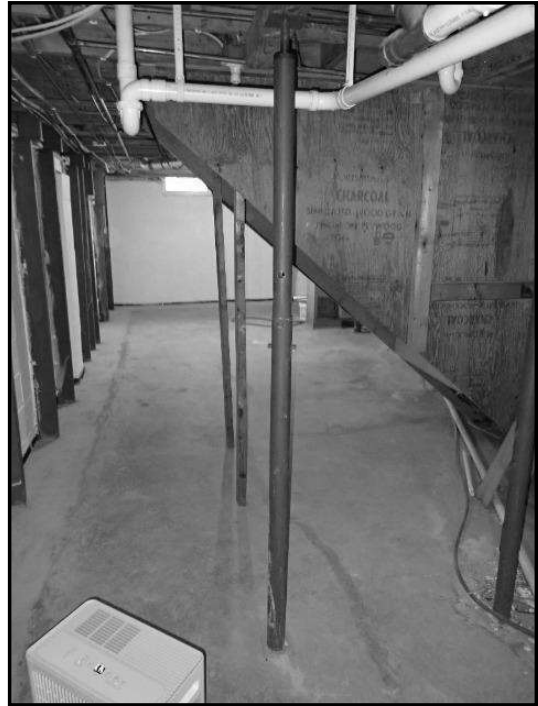
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8. Poorly secured at top or bottom



9. Poorly secured at top or bottom



10. Poorly secured at top or bottom

## **FOUNDATIONS \ General notes**

**Condition:** • Bowed, bulging or leaning

**DEFECT-** The foundation walls of the home should be evaluated as there was horizontal/vertical cracking and the walls were out of plumb by greater than 1/2". The foundation and drain tile should be evaluated by a foundation specialist or structural engineer to determine proper repairs that are necessary.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Basement



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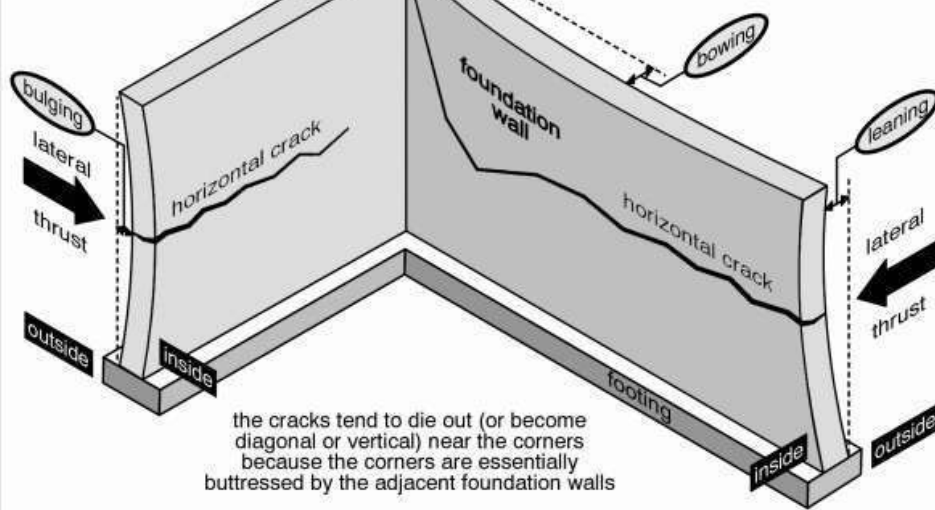
**Task:** Repair Further evaluation Improve Correct

**Time:** Immediate

**Cost:** Major

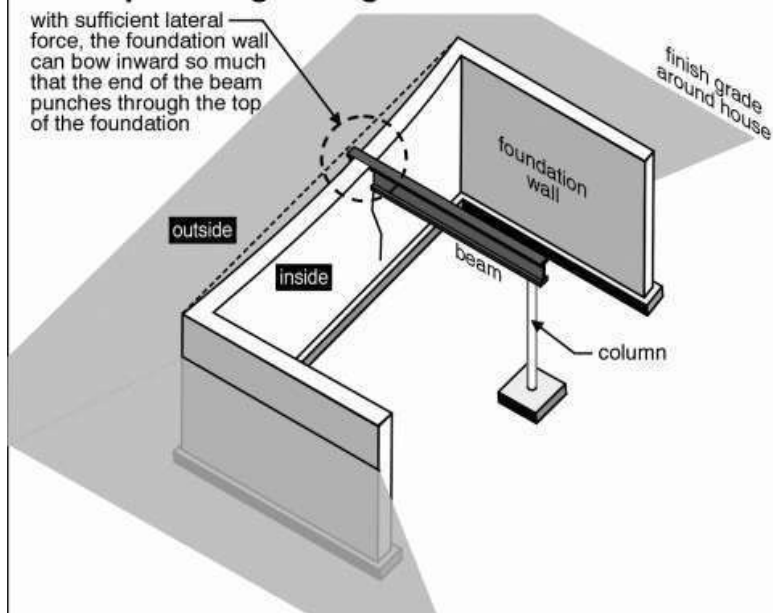
## Foundation movement associated with horizontal cracks

horizontal foundation cracks are often accompanied by bowing, bulging or leaning



## Beam punching through foundation wall

with sufficient lateral force, the foundation wall can bow inward so much that the end of the beam punches through the top of the foundation



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11. Bowed, bulging or leaning



12. Bowed, bulging or leaning



13. Bowed, bulging or leaning

## FLOORS \ Joists

**Condition:** • Notches or holes

**DEFECT** - There are some damaged joists in the basement that need to be repaired/replaced.

**Implication(s):** Weakened structure

**Location:** Various Basement

**Task:** Repair or replace Further evaluation Improve Correct

**Time:** Immediate



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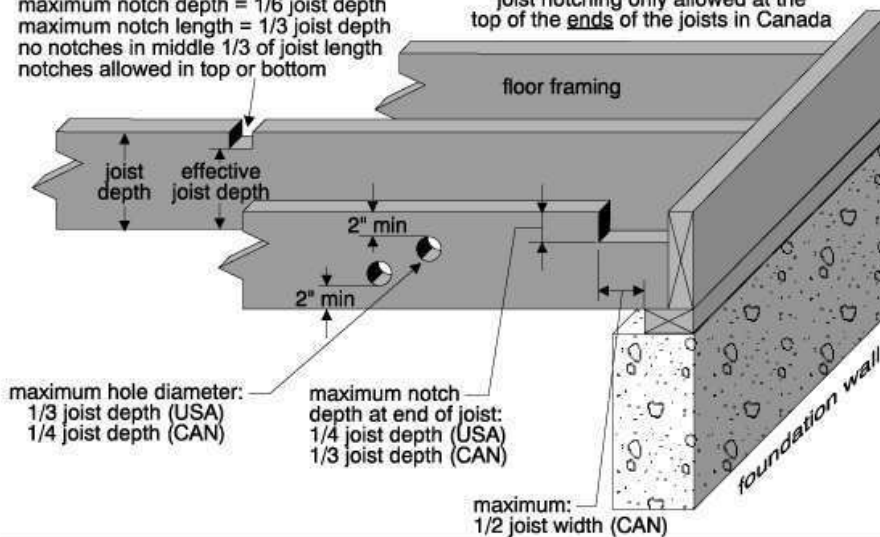
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## Joist notching and drilling

maximum notch depth =  $\frac{1}{6}$  joist depth  
maximum notch length =  $\frac{1}{3}$  joist depth  
no notches in middle  $\frac{1}{3}$  of joist length  
notches allowed in top or bottom

**note:**  
joist notching only allowed at the top of the ends of the joists in Canada



14. Notches or holes



15. Notches or holes

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16. Notches or holes

## **ROOF FRAMING \ Sheathing (roof/attic)**

**Condition:** • Mold

DEFECT - There is some fungal/bacterial growth in the attic, this should be evaluated/tested by a specialist to confirm, identify the cause, and be mitigated properly so it doesn't continue to spread or pose a risk to the residents. Further repairs to the attic as a part of this process may be necessary to ensure the condition doesn't return. Things to look at will be ventilation and air sealing as well as the bathroom vents. The area was not tested and samples were not taken at the time of the inspection.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Attic

**Task:** Further evaluation Improve Correct

**Time:** Immediate

**Cost:** Major

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17. Mold



18. Mold



19. Mold



20. Mold

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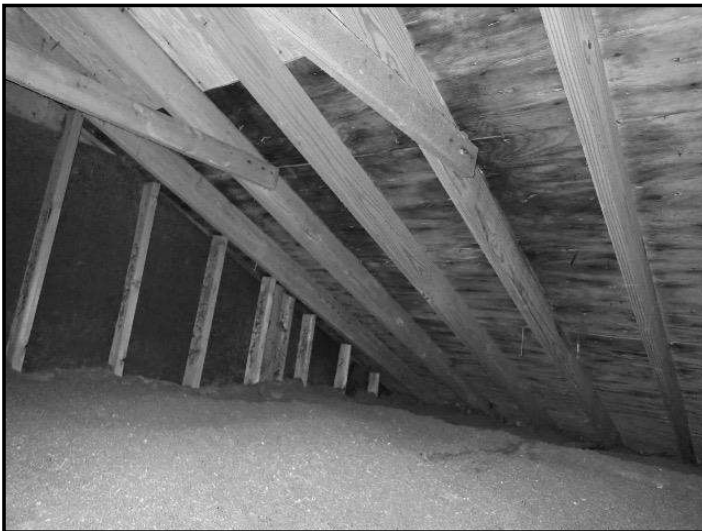
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21. Mold



22. Mold



23. Mold



24. Mold

## Condition: • Sagging

DEFECT - There are a number of areas showing warped and water damaged sheathing that needs to be replaced. Walking/standing on the roof could be very dangerous.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Throughout Attic Roof

**Task:** Repair or replace Further evaluation Improve Correct

**Time:** Immediate

**Cost:** Major

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25. Sagging



26. Sagging



27. Sagging



28. Sagging



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29. *Sagging*



30. *Sagging*



31. *Sagging*



32. *Sagging*



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33. Sagging



34. Sagging



35. Sagging



36. Sagging

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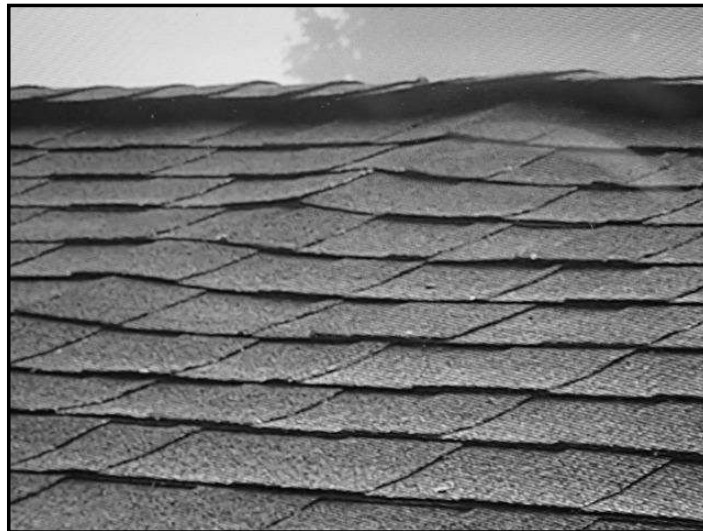
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37. Sagging



38. Sagging



39. Sagging

## Electrical

### DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

**Condition:** • Missing

DEFECT - There should be a functioning smoke and carbon monoxide detector on each floor. They should be checked once a month and replaced every 8-10 years. Some of the areas of the home have none or are out of date. Smoke detectors should not be placed in the kitchen area.

A high quality combo (CO & Smoke is recommended)

Recommended unit:

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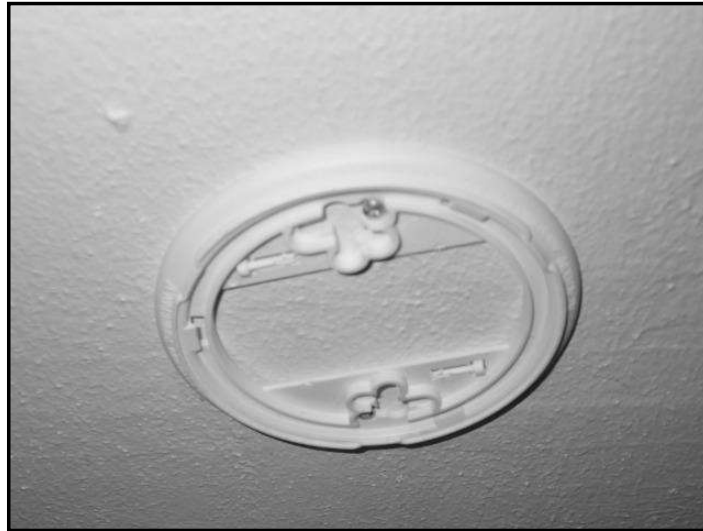
<https://amzn.to/3YS6RjS>

**Implication(s):** Safety issue

**Location:** Various Basement

**Task:** Provide Improve Correct

**Time:** Immediate



40. Missing

## Heating

### GAS FURNACE \ Heat exchanger

**Condition:** • Cracks, holes or rust

DEFECT - Further evaluation by a qualified professional HVAC technician is needed to determine the furnace viability. Carrier furnaces of this age had heat exchanger problems and there was a large recall. Given its age and condition there may be other issues discovered during this process.

**Implication(s):** Reduced system life expectancy | Hazardous combustion products entering home

**Location:** Basement

**Task:** Further evaluation

**Time:** Immediate

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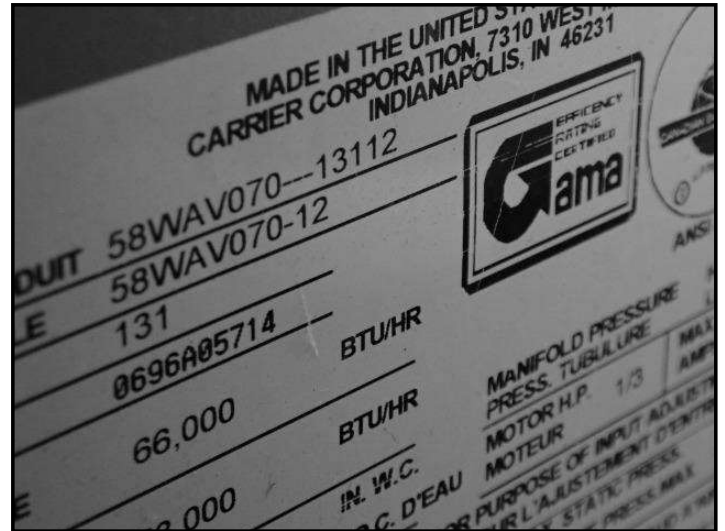
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41. Cracks, holes or rust



42. Cracks, holes or rust

## Plumbing

### WASTE PLUMBING \ Drain piping - installation

**Condition:** • Nonstandard materials and patches

**DEFECT** - There is some poor drain waste and vent piping in the home that needs to be corrected by a qualified plumber. There are a few improper sections and pieces that need to be replaced for consistent performance in waste movement and venting. This work was not professionally done, and there may be further issues that were not demoed or observed.

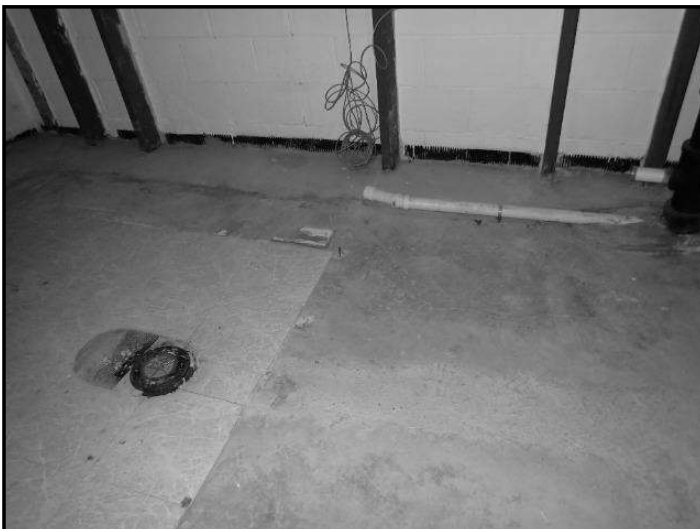
**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building

**Location:** Various Basement

**Task:** Further evaluation Improve Correct

**Time:** Immediate

**Cost:** Major



43. Nonstandard materials and patches



44. Nonstandard materials and patches

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45. The sewer lateral appears to be made of cas...



46. Nonstandard materials and patches



47. Nonstandard materials and patches



48. Nonstandard materials and patches

## Interior

### WALLS \ Masonry or concrete

**Condition:** • Efflorescence

**DEFECT** - The basement is showing signs of efflorescence and moisture intrusion. The walls and floor were dry at the time of the inspection. These conditions are usually addressed by improving your grading, gutters, and downspouts. If the moisture persists there may be a need for a drain tile improvement/system. The moisture appears to be a continuing issue.

**Location:** Various Basement

**Task:** Further evaluation Improve Correct

**Time:** Immediate



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49. Efflorescence



50. Efflorescence



51. Efflorescence



52. Efflorescence

## APPLIANCES \ Dryer

**Condition:** • Plastic dryer vent

**DEFECT** - The dryer duct is made of plastic/aluminum foil and should be replaced as the plastic is flammable. I recommend a smooth walled or flexible metal dryer vent to reduce maintenance and also reduce the risk of fire.

Video: <https://www.youtube.com/watch?v=vfExQ3mwBH8>

**Implication(s):** Equipment ineffective | Fire hazard



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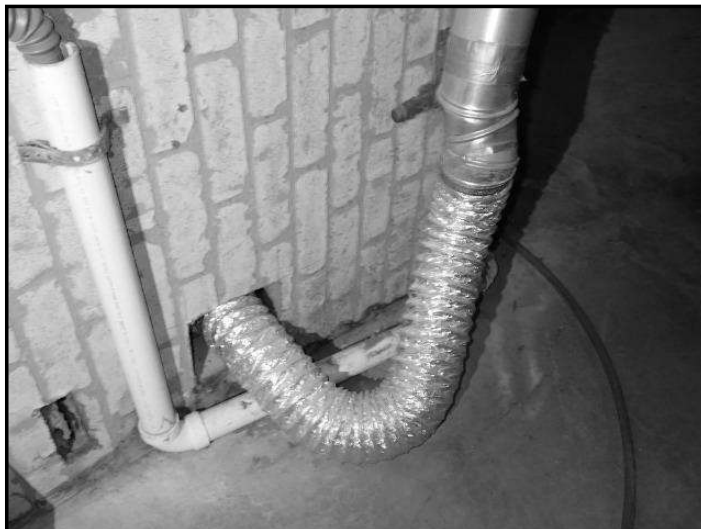
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**Location:** Basement

**Task:** Improve Correct



**53.** *Plastic dryer vent*

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

Home Improvement - ballpark costs

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## Description

The home is considered to face: • East

**Sloped roofing material:**

- Composition shingles



54. Composition shingles



55. Composition shingles



56. Composition shingles



57. Composition shingles

**Sloped roof flashing material:** • Metal

**Probability of leakage:**

- High

DEFECT - There are a number of roof repairs that need to be made. There was no visible evidence of active leaking at the time of the inspection. The roof needs to be evaluated and repaired/replaced as deemed necessary by a qualified roofing contractor.

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**Approximate age:** • 20-25 years

**Typical life expectancy:** • 20-25 years

## Limitations

**Inspection limited/prevented by:** • Lack of access (too slippery/fragile)

**Inspection performed:** • Drone aerial view

## Recommendations

### SLOPED ROOFING \ Composition shingles

**1. Condition:** • Cupping, curling, clawing

**DEFECT** - There are a number of roof repairs that need to be made. There was no visible evidence of active leaking at the time of the inspection. The roof needs to be evaluated and repaired/replaced as deemed necessary by a qualified roofing contractor.

**Implication(s):** Shortened life expectancy of material

**Location:** Exterior Roof

**Task:** Repair or replace Further evaluation Improve Correct

**Time:** Immediate



58. Cupping, curling, clawing



59. Cupping, curling, clawing

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60. Cupping, curling, clawing



61. Cupping, curling, clawing



62. Cupping, curling, clawing

## SLOPED ROOF FLASHINGS \ General notes

**2. Condition:** • Inspect & repair, as needed.

There are a few areas where the flashings need to be improved/provided. Mainly we are talking about the kick/guiding and valley flashings missing at a few areas.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Exterior

**Task:** Provide Improve Correct

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63. *Inspect & repair, as needed.*



64. *Inspect & repair, as needed.*



65. *Inspect & repair, as needed.*

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## Description

**General:** • Detached garage - The garage is not attached to the main living structure on the property. • 2.5 car garage - The garage has the approximate size to accommodate slightly more than two regular sized vehicle. • Window/door trim-metal faced - The window/door trim has a metal wrapped face, commonly aluminum, which will require very little maintenance. It may eventually dent or discolor and require replacement, but in general this material has a very long life span. • Window/door trim-plastic - The window and doors are trimmed with a plastic product. Plastic products are becoming more common in residential applications due to its long life span and the use of UV protections to prevent color fading. Because it is plastic you will not have oxidation or moisture issues, but it should always be properly caulk sealed. • Garage entrance doors-metal - The entrance doors to the garage are metal. These commonly are fire rated doors to retard the movement of fire. • Garage-electricity-present - The garage has electricity run to it.

**Gutter & downspout material:** • Aluminum

**Gutter & downspout discharge:** • Above grade

**Lot slope:** • Away from building • Towards building • Flat

**Soffit (underside of eaves) and fascia (front edge of eaves):**

• Metal



66. Metal

**Wall surfaces and trim:**

• Vinyl siding

On the garage only



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67. Vinyl siding

- Metal siding



68. Metal siding

- Brick

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69. Brick

## Driveway:

- Concrete



70. Concrete

## Walkway:

- Concrete

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71. Concrete

## Porch:

- Concrete



72. Concrete

## Patio:

- Concrete

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73. Concrete

## Fence:

- Vinyl



74. Vinyl

## Limitations

**Not included as part of a building inspection:** • Thermal panes with broken seals are not included in this inspection as they at times may not be visible depending on humidity and temperature differences. If there are broken seals observed at the time of the inspection we will denote them, but often they may not be observed or determined to be broken.