

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



73. Concrete

Fence:

- Vinyl



74. Vinyl

Limitations

Not included as part of a building inspection: • Thermal panes with broken seals are not included in this inspection as they at times may not be visible depending on humidity and temperature differences. If there are broken seals observed at the time of the inspection we will denote them, but often they may not be observed or determined to be broken.

EXTERIOR

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Report No. 7402

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE

Recommendations

RECOMMENDATIONS \ General

3. Condition: • The egress window well should have a fall roof cover installed to prevent injury.

Location: Exterior

Task: Provide Improve Correct



75.

ROOF DRAINAGE \ Gutters

4. Condition: • Clogged

The gutters are clogged and need to be cleaned. These are regular maintenance items. Gutter guards are recommended.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Clean Correct

Time: Ongoing Regular maintenance

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

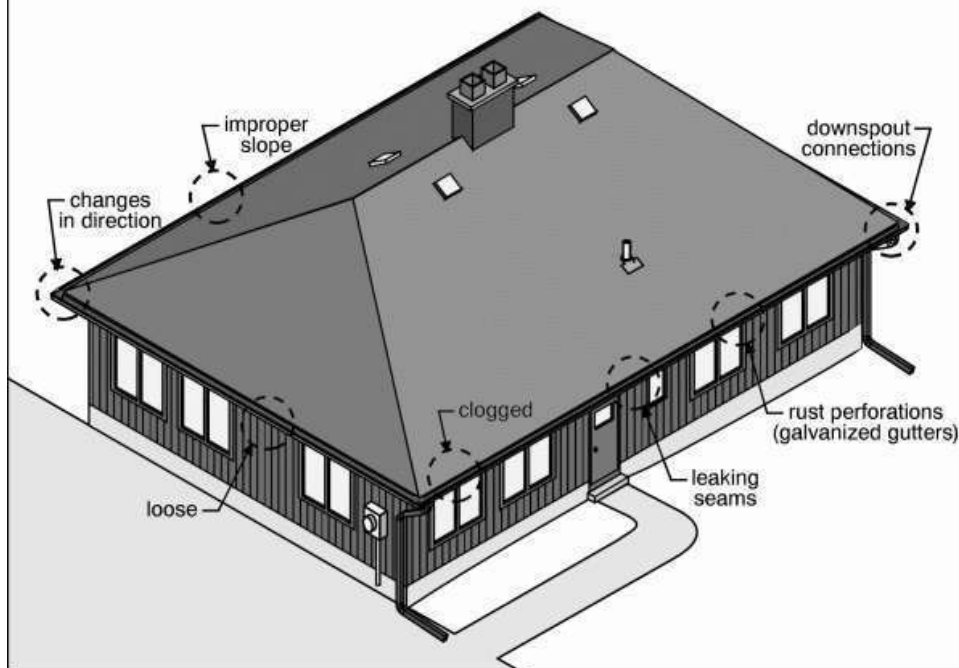
PLUMBING

INTERIOR

APPENDIX

REFERENCE

Gutters - common reasons for leakage



76. Clogged

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

5. Condition: • Loose or missing pieces

There are a few areas on the exterior where the soffit/fascia is coming loose/missing and should be secured or replaced as necessary.

Implication(s): Chance of water damage to structure, finishes and contents | Chance of pests entering building

Location: Exterior

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE

Task: Improve Correct



77. Loose or missing pieces

WALLS \ Trim

6. Condition: • Caulking missing or deteriorated

There are a few areas at the exterior that need to be caulked and sealed to prevent damage, moisture intrusion, and insect intrusion. Some areas also have poorly installed and discolored caulking that needs to be replaced. Some flashing should also be improved to prevent water intrusion (this is an improvement where materials meet the masonry to push water away..

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various Exterior

Task: Improve Correct

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



78. Caulking missing or deteriorated



79. Caulking missing or deteriorated

7. Condition: • Paint or stain needed

There are a few areas on the exterior that require repair, prep, and paint in order to protect the building materials and not have them deteriorate due to rot. If there is already rot/damage the affected areas should be repaired before painting or caulking. Wood trim should not be in contact with flat concrete/soil/flat work.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various Exterior

Task: Improve Correct

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



80. Paint or stain needed



81. Paint or stain needed



82. Paint or stain needed

WALLS \ Metal siding

8. Condition: • Rust

There are a few areas on the house siding that are rusted or damaged and need to be repaired.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various Exterior

Task: Improve Correct

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



83. Rust



84. Rust



85. Rust

WALLS \ Vinyl siding

9. Condition: • Loose or missing pieces

There were a few areas where the siding should be repaired as it was loose, damaged, and poorly installed. Repairs should be made by a qualified siding installer.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Improve Correct

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



86. Loose or missing pieces



87. Loose or missing pieces



88. Loose or missing pieces

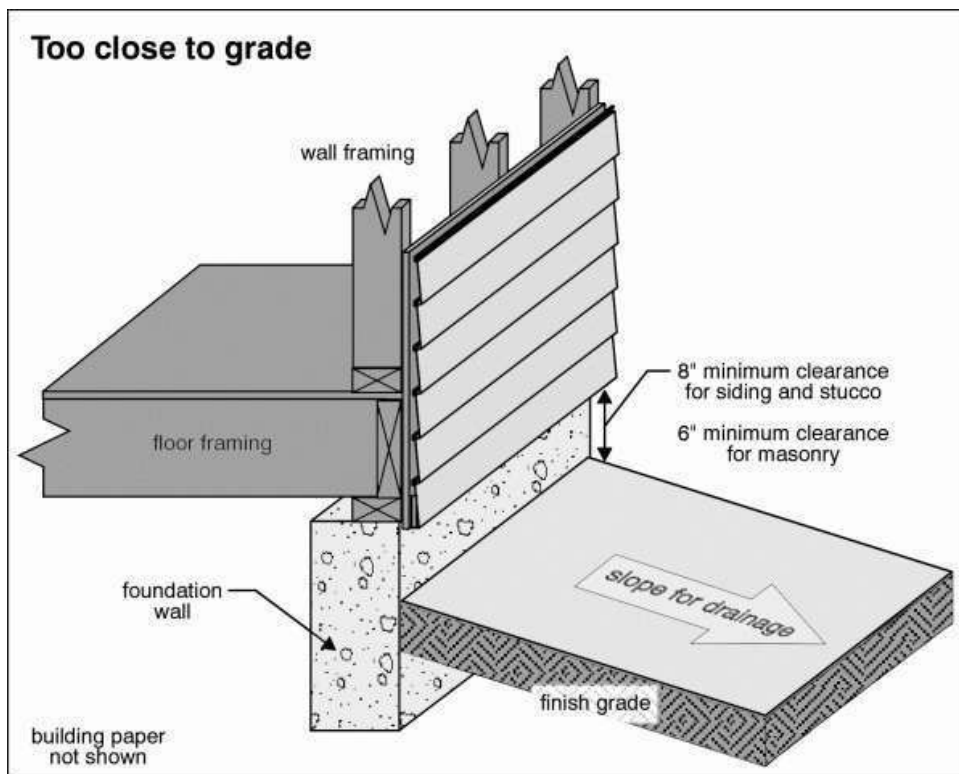
10. Condition: • Too close to grade

There are a few places around the exterior of the home where the ground comes too close to the siding. This small distance or contact makes it easier for insects, moisture and rodents to enter the home. 4 to 6 inches of foundation exposure is normal.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Exterior

Task: Improve Correct



89. Too close to grade



90. Too close to grade

WALLS \ Masonry (brick, stone) and concrete

11. Condition: • Mortar deterioration

There are a few areas where the mortar/masonry needs to be repaired on the exterior of the building. Tuck pointing is the most common repair needed. Caulking/spray foam is not a proper masonry repair material. Some masonry flashing details also need to be added/improved to prevent moisture intrusion.

Helpful video:

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

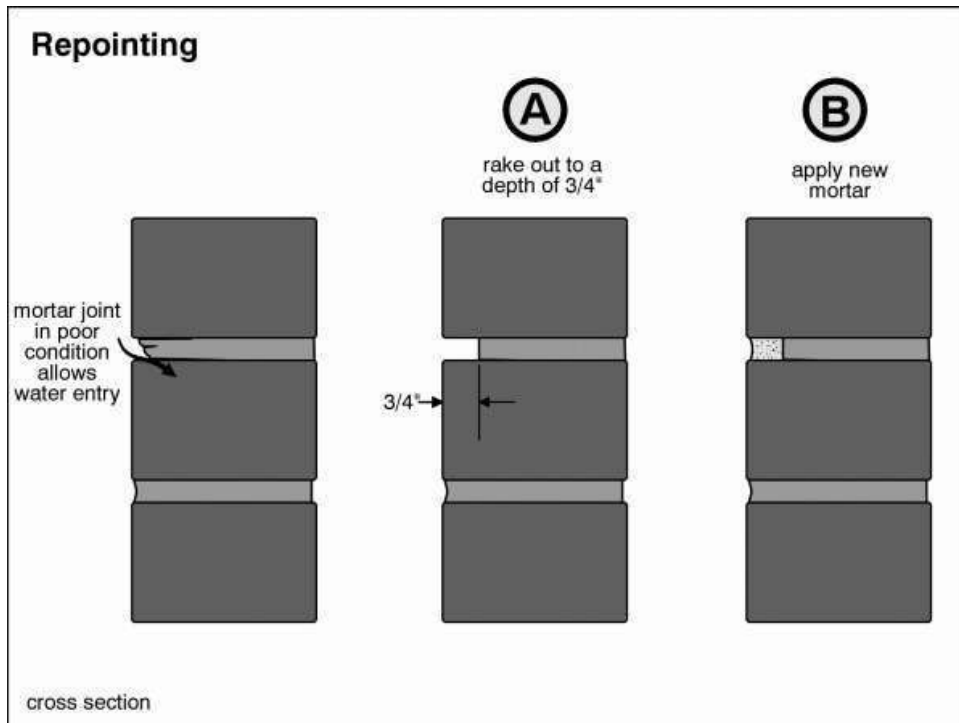
REFERENCE

<https://www.youtube.com/watch?v=aJ5p64Lltsw>

Implication(s): Chance of water entering building | Weakened structure | Chance of structural movement

Location: Various Exterior

Task: Repair Improve Correct



91. Mortar deterioration



92. Mortar deterioration

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



93. Mortar deterioration

EXTERIOR GLASS/WINDOWS \ Glass (glazing)

12. Condition: • Missing

There is a basement window that is damaged and needs to be repaired/replaced.

Implication(s): Chance of water entering building | Chance of pests entering building | Increased heating and cooling costs | Reduced comfort

Location: Basement

Task: Repair or replace Improve Correct



94. Missing



95. Missing

EXTERIOR GLASS/WINDOWS \ Window wells

13. Condition: • Less than 6 inches below window

The gravel/drainage at the bottom should be 6" below the window and the wall of the well should be continuous to 3" above the soil level.

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

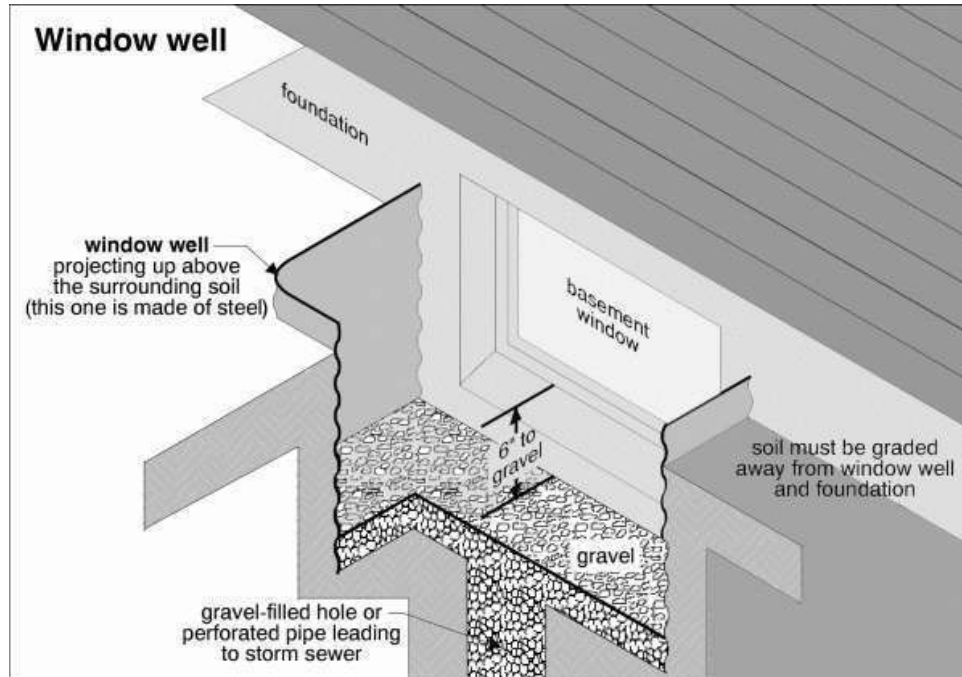
APPENDIX

REFERENCE

Implication(s): Chance of water entering building

Location: Various Exterior

Task: Improve Correct



96. Less than 6 inches below window



97. Less than 6 inches below window



98. Less than 6 inches below window

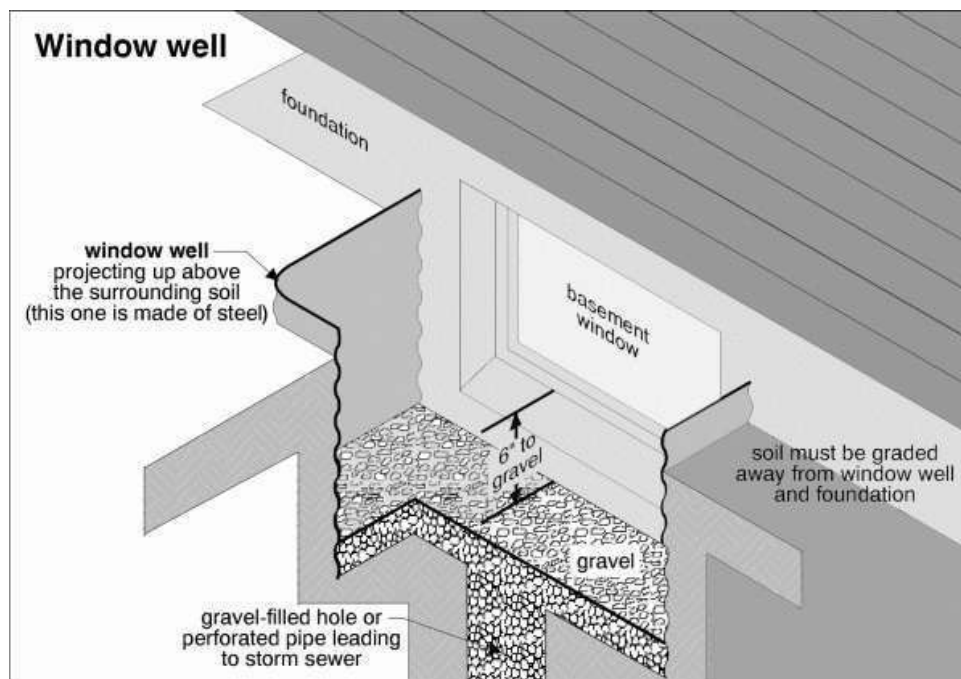
14. Condition: • Missing

There should be a properly installed window well on each of the basement windows. The drainage gravel should be 6" below the sill of the window and the top lip should be 3" or more above the grade.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various Exterior

Task: Provide Improve Correct



EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



99. Missing

LANDSCAPING \ General notes

15. Condition: • Trees or shrubs too close to building

All foliage should be trimmed back at least 6" from the building materials and all trees should be trimmed back 3 feet from the structure. A few of the trees/shrubs/vines are too close to the structure and should be removed.

Implication(s): Chance of water damage to structure, finishes and contents | Chance of pests entering building | Material deterioration

Location: Various Exterior

Task: Improve Correct

Time: Ongoing Regular maintenance

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

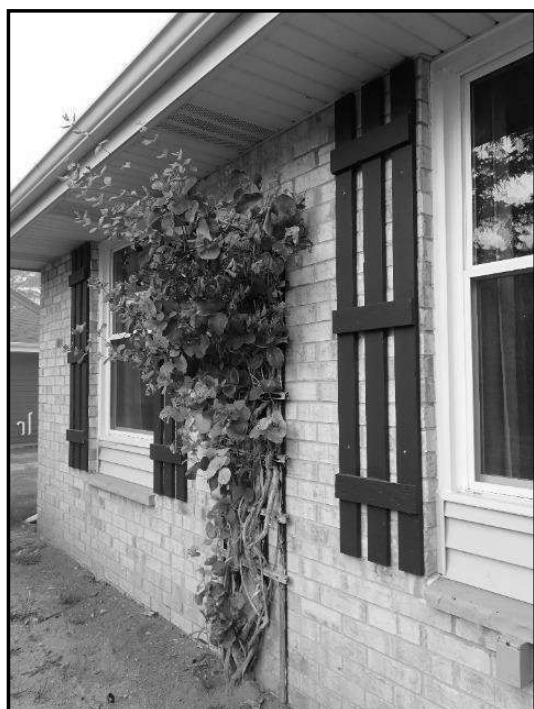
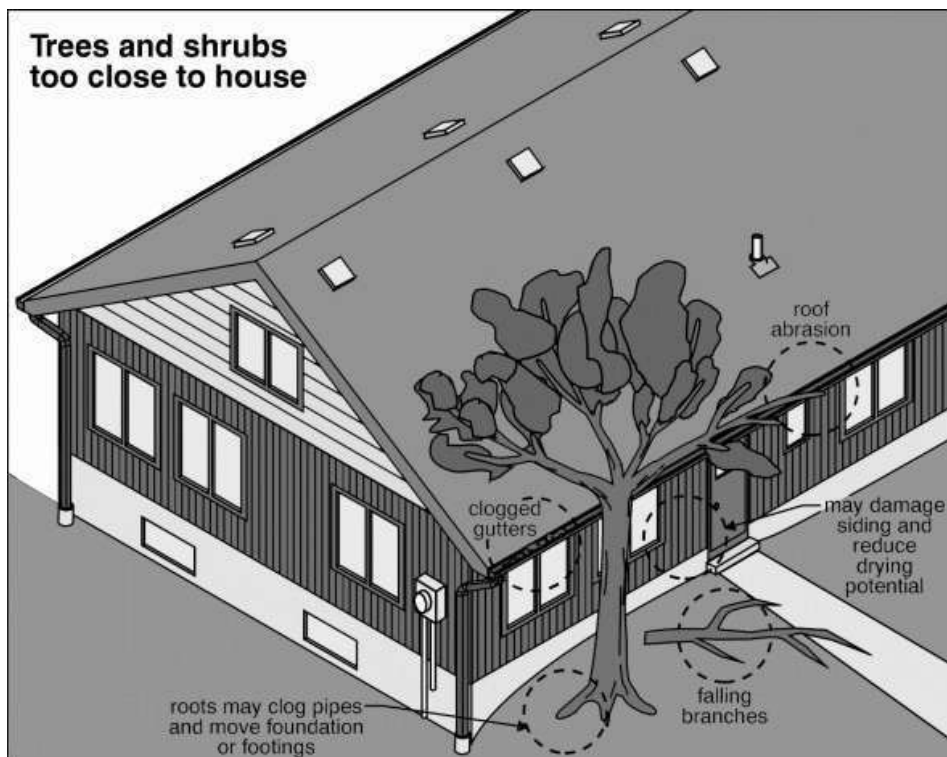
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PLUMBING

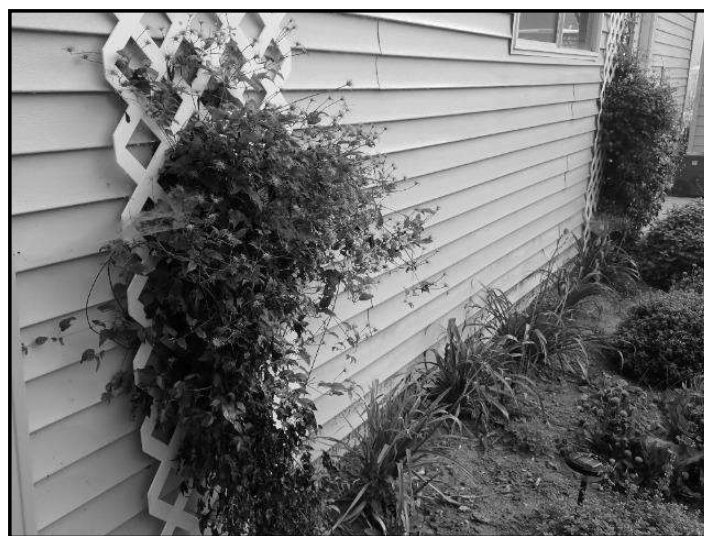
INTERIOR

APPENDIX

REFERENCE



100. Trees or shrubs too close to building



101. Trees or shrubs too close to building

LANDSCAPING \ Lot grading

16. Condition: • Improper slope or drainage

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE

There are a few areas where the grading needs to be improved to correctly distribute water to prevent water intrusion.

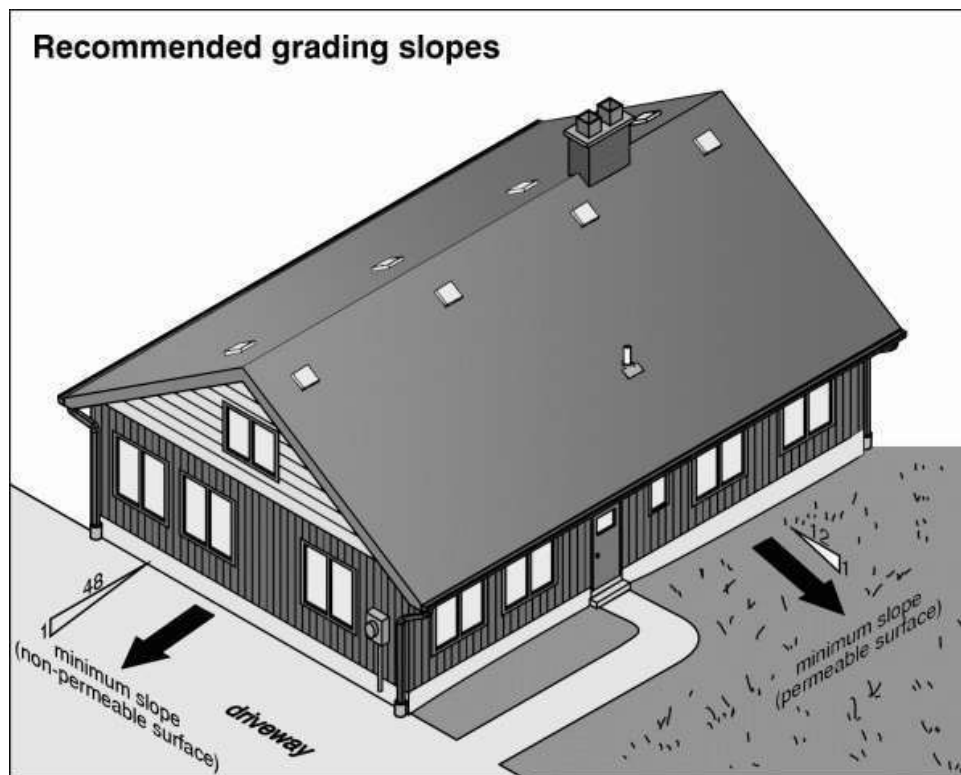
Helpful video:

<https://www.youtube.com/watch?v=5hYIda7tWqA>

Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Exterior

Task: Improve Correct



EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

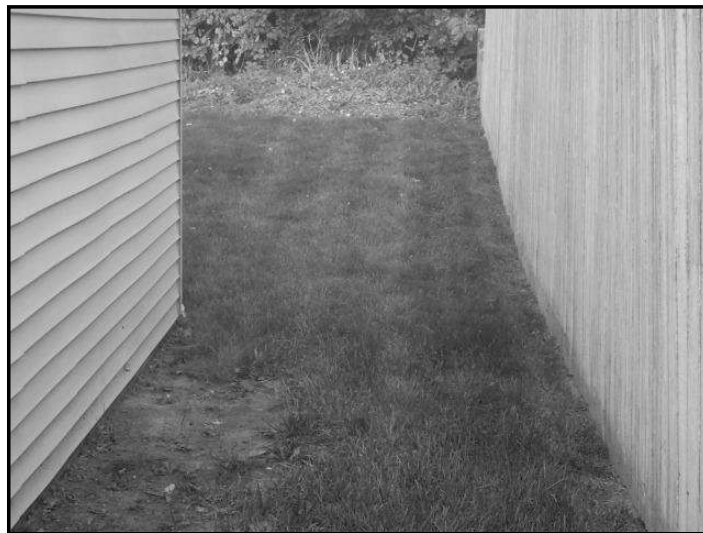
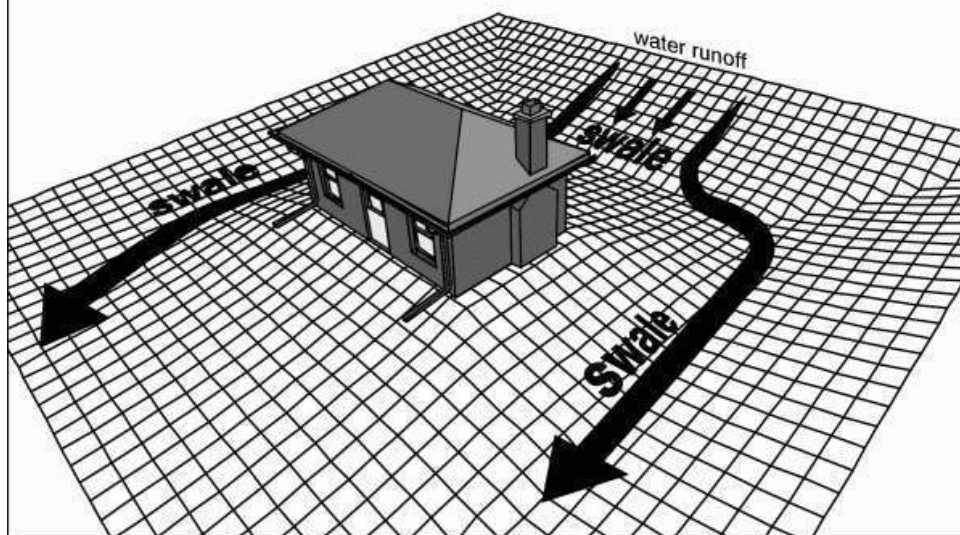
INTERIOR

APPENDIX

REFERENCE

Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



102. Improper slope or drainage

LANDSCAPING \ Patios

17. **Condition:** • Improper slope or drainage

DEFECT - The rear patio has a poor slope and needs to be corrected to move water away from the home not towards it.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Improve Correct

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE

Time: Immediate

Cost: Major



103. Improper slope or drainage

LANDSCAPING \ Driveway

18. Condition: • Cracked or damaged surfaces

The driveway is cracked and needs to be repaired/replaced. The driveway damage does not appear to be a major function issue.

Implication(s): Trip or fall hazard

Location: Exterior

Task: Improve Correct



104. Cracked or damaged surfaces



105. Cracked or damaged surfaces

GARAGE \ General notes

19. Condition: • The garage foundation was added onto at some point is damaged at the point of the additional section.

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE

The foundation should be repaired to ensure long-term structural stability.

Location: Exterior Garage

Task: Repair Further evaluation Improve Correct



106.



107.



108.

GARAGE \ Floor

20. Condition: • Cracked

The garage floor has some cracking and salt damage that should be cleaned and sealed with a penetrating concrete sealer to prevent further damage from occurring. The sealant will at least slow or prevent further damage.

Implication(s): Uneven floors

Location: Garage

Task: Repair or replace Improve Correct

EXTERIOR

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

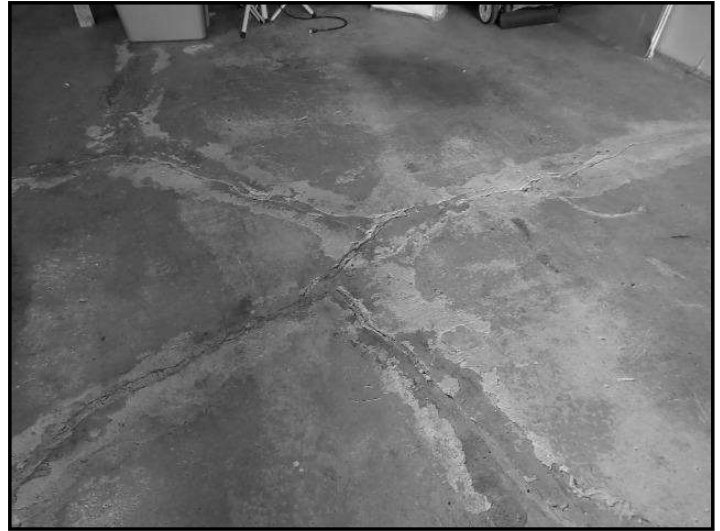
INTERIOR

APPENDIX

REFERENCE



109. Cracked



110. Cracked

GARAGE \ Vehicle doors

21. Condition: • Weatherstripping damaged or missing.

The weather stripping at the garage needs to be improved/replaced.

Location: Various Exterior

Task: Improve Correct



111. Weatherstripping damaged or missing.

STRUCTURE

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE

Description

Configuration: • Basement

Foundation material:

• Masonry block



112. Masonry block



113. Masonry block



114. Masonry block

Floor construction:

• Joists

STRUCTURE

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



115. Joists

- Steel columns



116. Steel columns



117. Steel columns

- Steel beams (girders)

Exterior wall construction: • Wood frame

Roof and ceiling framing:

- Rafters

STRUCTURE

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

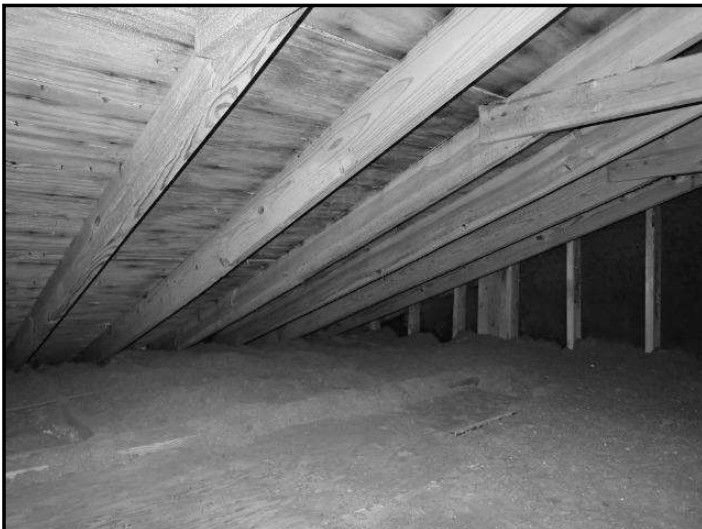
REFERENCE



118. Rafters



119. Rafters



120. Rafters



121. Rafters



122. Rafters

- Trusses
In the garage



123. Rafters



124. Trusses



125. Trusses

Recommendations

FOUNDATIONS \ Columns or piers

22. Condition: • Poorly secured at top or bottom

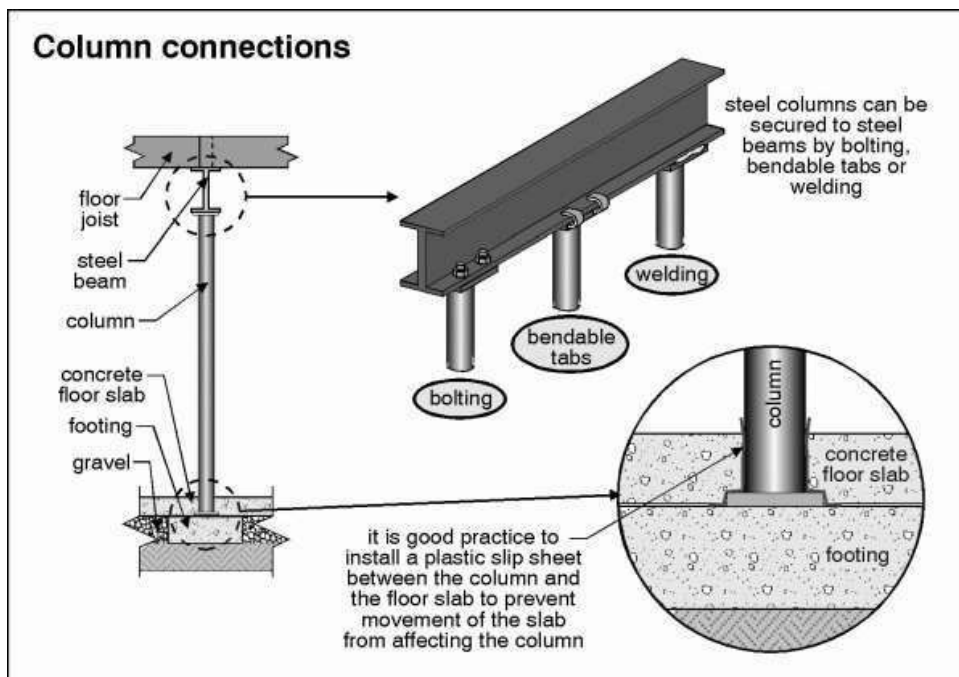
DEFECT - The temporary supports used in the basement are not proper permanent structural columns and need to be improved/corrected. There also needs to be a proper footing under each. The columns also need to be secured at the top and bottom.

Implication(s): Weakened structure | Chance of structural movement

Location: Various Basement

Task: Further evaluation Improve Correct

Time: Immediate



126. Poorly secured at top or bottom



127. Poorly secured at top or bottom

STRUCTURE

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



128. Poorly secured at top or bottom



129. Poorly secured at top or bottom

FOUNDATIONS \ General notes

23. Condition: • Cracked

The foundation has some cracking/damage that will need to be monitored/repared.

Implication(s): Chance of water damage to structure, finishes and contents | Weakened structure

Location: Various Basement

Task: Improve Monitor Correct



130. Cracked



131. Cracked

24. Condition: • Bowed, bulging or leaning

DEFECT- The foundation walls of the home should be evaluated as there was horizontal/vertical cracking and the walls were out of plumb by greater than 1/2". The foundation and drain tile should be evaluated by a foundation specialist or structural engineer to determine proper repairs that are necessary.

Implication(s): Weakened structure | Chance of structural movement

Location: Basement

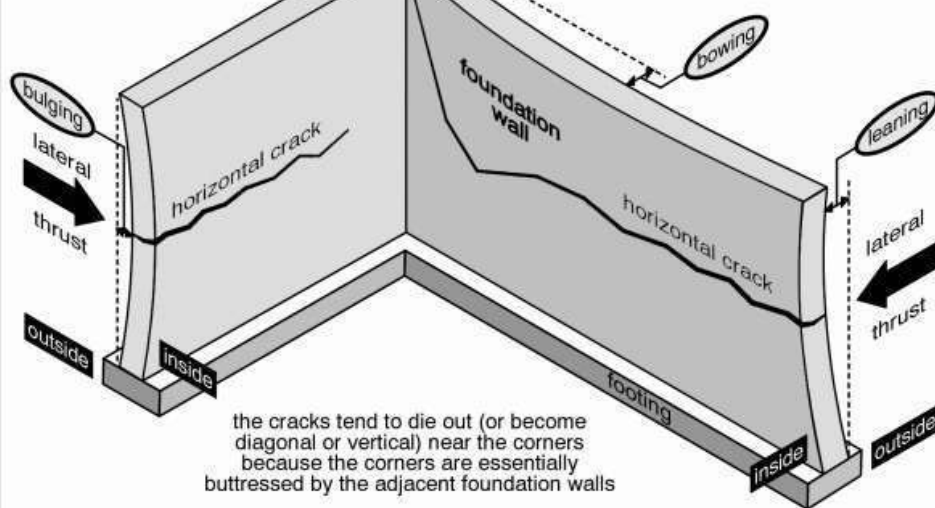
Task: Repair Further evaluation Improve Correct

Time: Immediate

Cost: Major

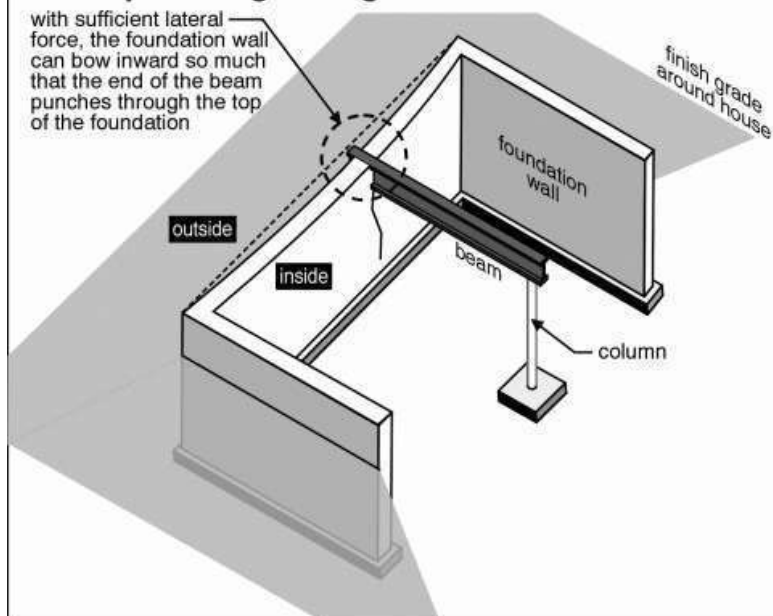
Foundation movement associated with horizontal cracks

horizontal foundation cracks are often accompanied by bowing, bulging or leaning



Beam punching through foundation wall

with sufficient lateral force, the foundation wall can bow inward so much that the end of the beam punches through the top of the foundation



STRUCTURE

117 Judge Dr, Saukville, WI September 12, 2025

Report No. 7402

www.hshpropertyinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



132. Bowed, bulging or leaning



133. Bowed, bulging or leaning



134. Bowed, bulging or leaning

FLOORS \ Joists

25. Condition: • Notches or holes

DEFECT - There are some damaged joists in the basement that need to be repaired/replaced.

Implication(s): Weakened structure

Location: Various Basement

Task: Repair or replace Further evaluation Improve Correct

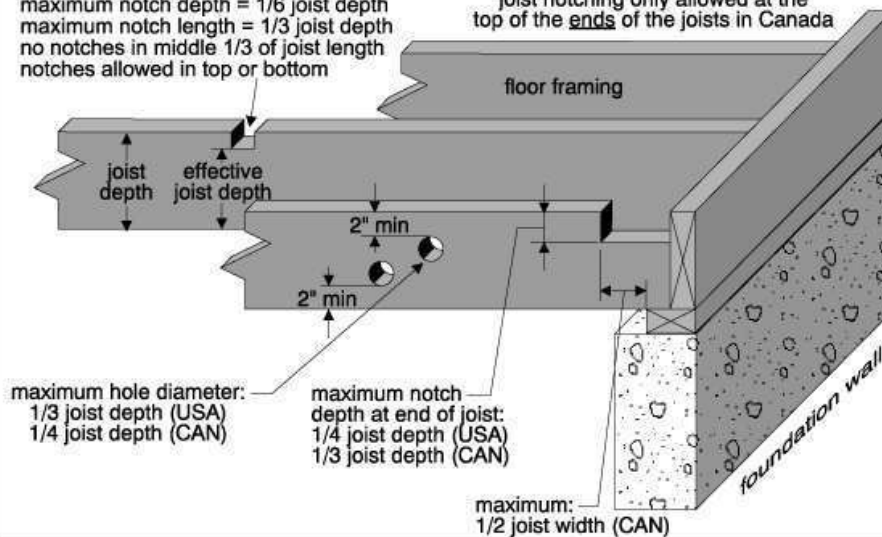
Time: Immediate

Joist notching and drilling

maximum notch depth = $\frac{1}{6}$ joist depth
 maximum notch length = $\frac{1}{3}$ joist depth
 no notches in middle $\frac{1}{3}$ of joist length
 notches allowed in top or bottom

note:

joist notching only allowed at the top of the ends of the joists in Canada



135. Notches or holes



136. Notches or holes



137. Notches or holes

26. Condition: • Poor end bearing, joist hanger connections

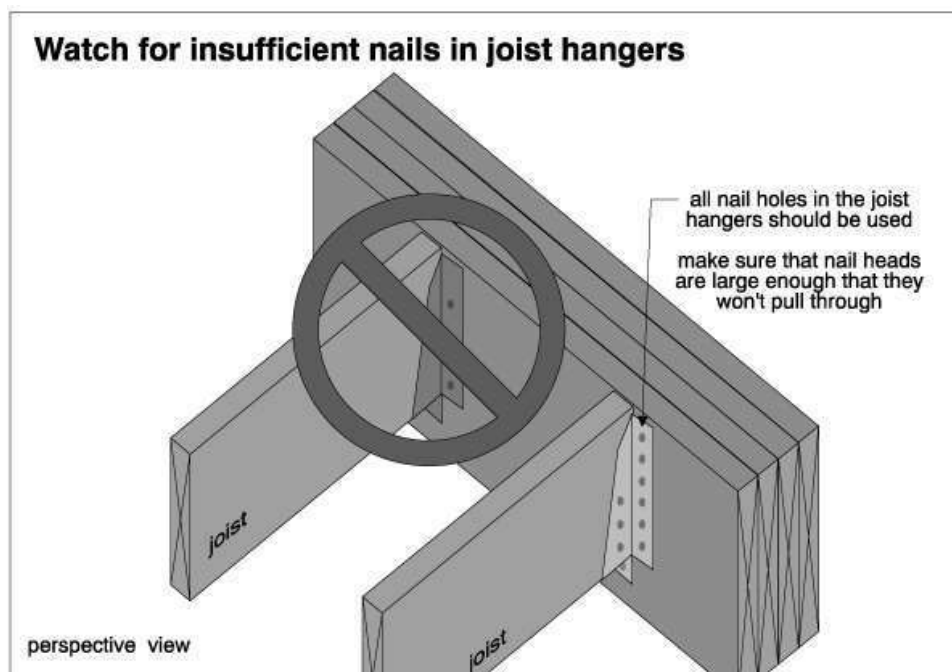
There are a few areas where joist hangers and brackets need to be added to the joists to ensure the structural stability in the area.

Dry but informative-- <https://www.youtube.com/watch?v=dOX9MIK9mwl>

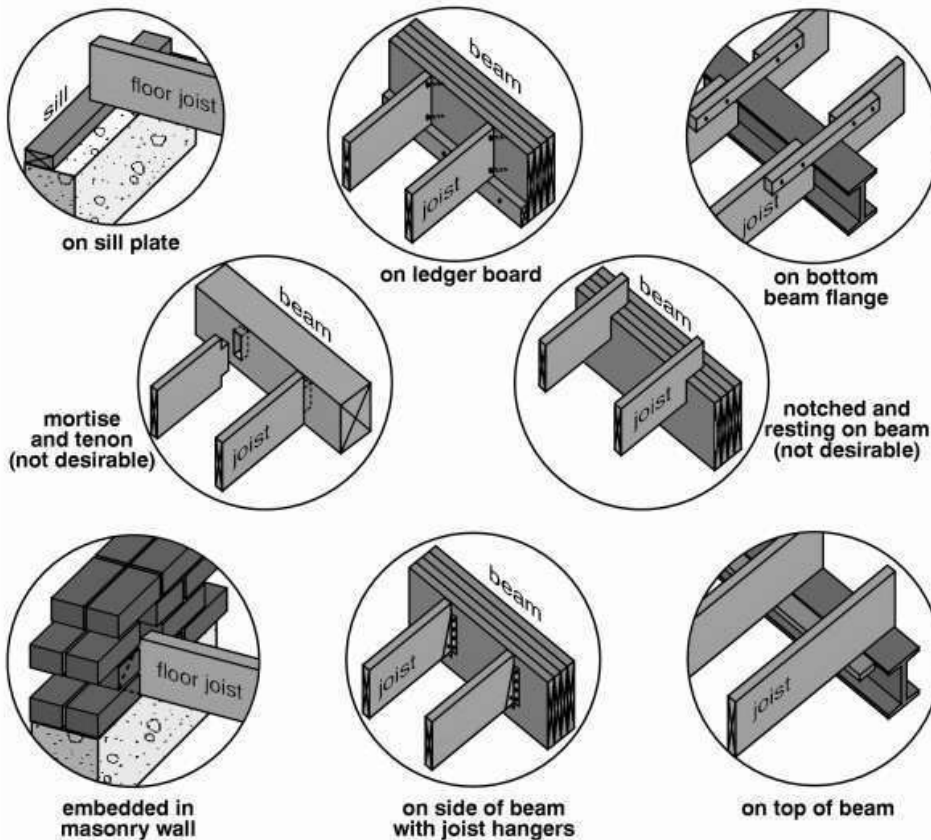
Implication(s): Weakened structure | Chance of structural movement

Location: Various Basement

Task: Provide Improve Correct



Different types of joist end support



138. Poor end bearing, joist hanger connections



139. Poor end bearing, joist hanger connections