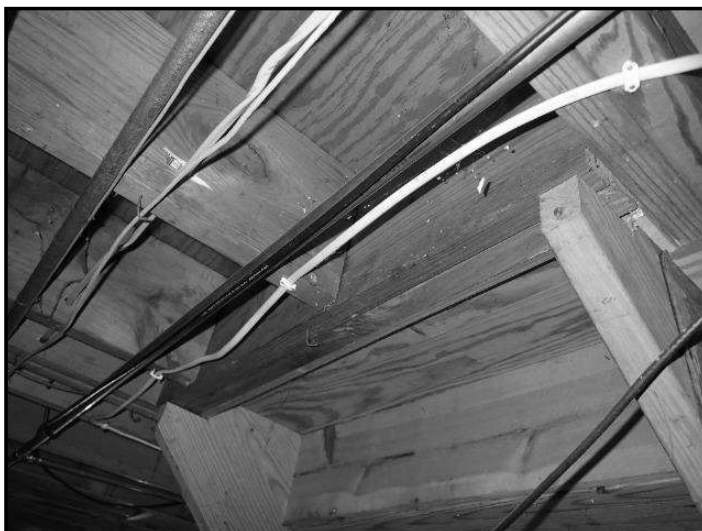
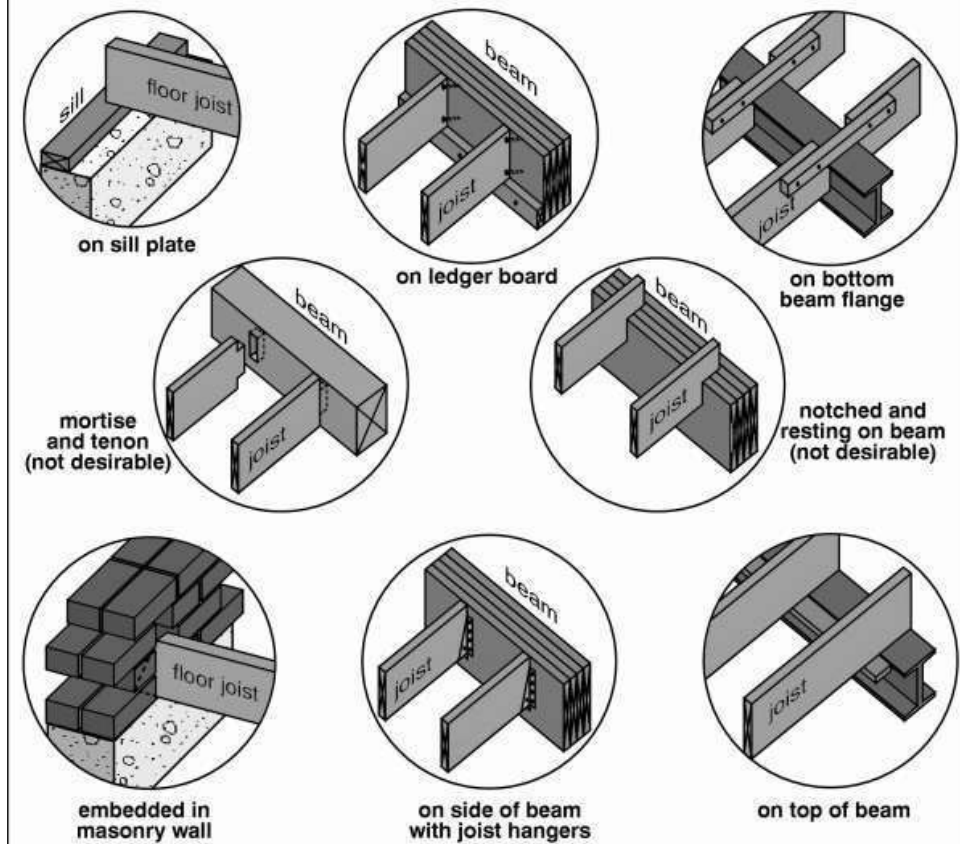


Different types of joist end support



138. Poor end bearing, joist hanger connections



139. Poor end bearing, joist hanger connections



140. Poor end bearing, joist hanger connections

FLOORS \ Sheathing/Subflooring

27. Condition: • Water stains

There is some water damage in the floor sheathing from prior water leaks that needs to be repaired/replaced. the area was dry at the time of the inspection.

Implication(s): Material deterioration

Location: Basement First Floor

Task: Repair Improve Correct



141. Water stains



142. Water stains



143. Water stains

ROOF FRAMING \ Sheathing (roof/attic)

28. Condition: • Mold

DEFECT - There is some fungal/bacterial growth in the attic, this should be evaluated/tested by a specialist to confirm, identify the cause, and be mitigated properly so it doesn't continue to spread or pose a risk to the residents. Further repairs to the attic as a part of this process may be necessary to ensure the condition doesn't return. Things to look at will be ventilation and air sealing as well as the bathroom vents. The area was not tested and samples were not taken at the time of the inspection.

Implication(s): Weakened structure | Chance of structural movement

Location: Attic

Task: Further evaluation Improve Correct

Time: Immediate

Cost: Major

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144. Mold



145. Mold



146. Mold



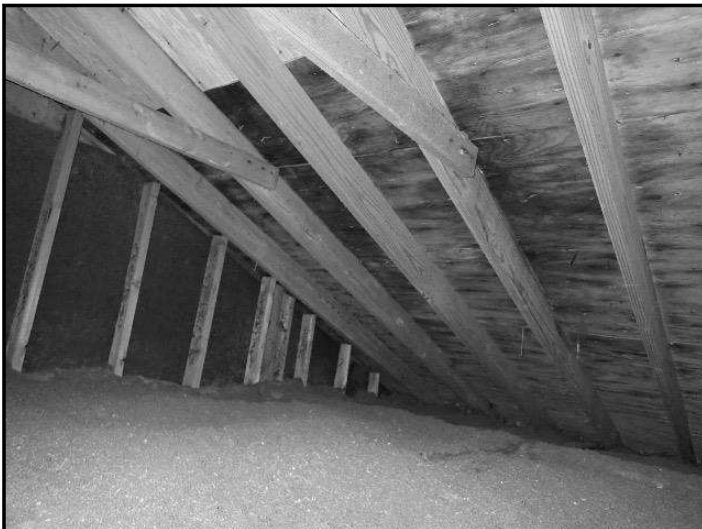
147. Mold



148. Mold



149. Mold



150. Mold



151. Mold

29. Condition: • Sagging

DEFECT - There are a number of areas showing warped and water damaged sheathing that needs to be replaced. Walking/standing on the roof could be very dangerous.

Implication(s): Weakened structure | Chance of structural movement

Location: Throughout Attic Roof

Task: Repair or replace Further evaluation Improve Correct

Time: Immediate

Cost: Major

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152. *Sagging*



153. *Sagging*



154. *Sagging*



155. *Sagging*

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156. *Sagging*



157. *Sagging*



158. *Sagging*



159. *Sagging*

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160. *Sagging*



161. *Sagging*



162. *Sagging*



163. *Sagging*

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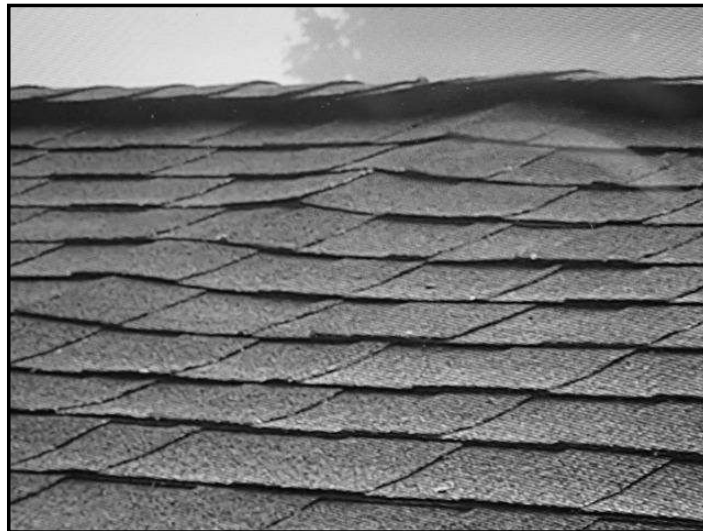
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164. *Sagging*



165. *Sagging*



166. *Sagging*

Description

Service entrance cable and location:

- Underground aluminum



167. Underground aluminum

Service size:

- 100 Amps (240 Volts)



168. 100 Amps (240 Volts)

Main disconnect/service box rating:

- 100 Amps

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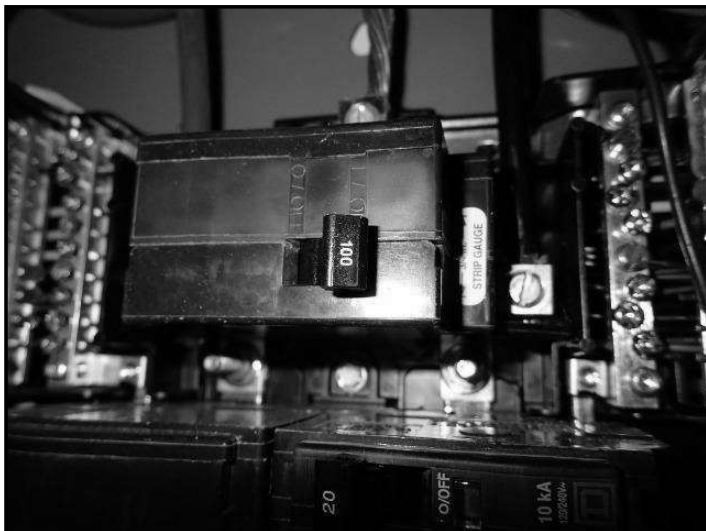
INSULATION

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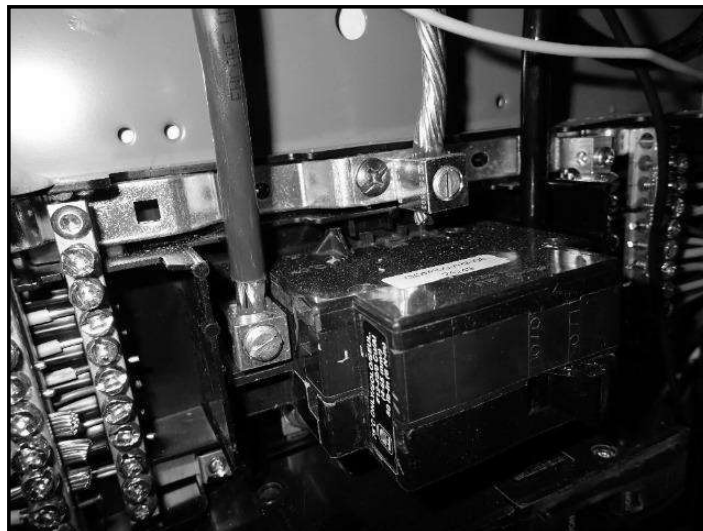
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169. 100 Amps



170. 100 Amps

Main disconnect/service box type and location:

- Breakers - basement



171. Breakers - basement



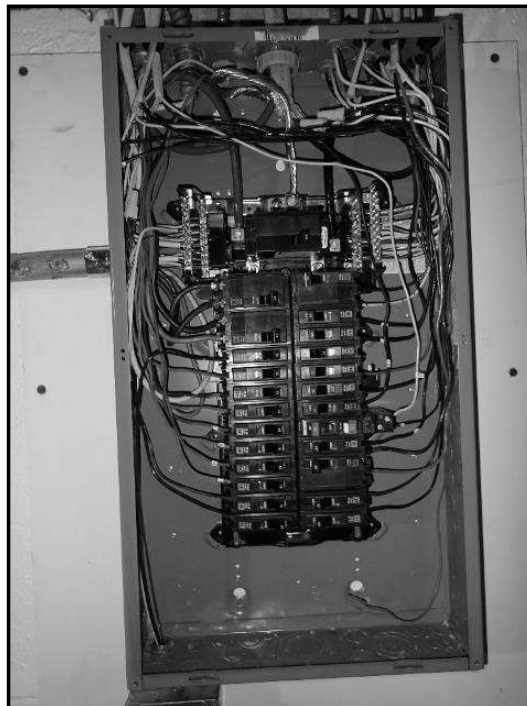
172. Breakers - basement

DO NOT Load Circuit Breakers / Utilice solo Interruptores de automación QO de Square D.	
Type I End Use Accessories COFF - Branch Circuit Overcurrent Protection QOITFP - Main Circuit Overcurrent Protection P40FL - Door 4020513M2N See Wiring Diagram Consulte el diagrama de información	
Garage	AC
Garage	AC
Range	Kitchen outlets
Range	Kitchen outlets
Panel outlet	
upstairs Bath	water
Master Bed	Softner
Sump	

173. Breakers - basement

Master Bed	Softner
Sump	
Pump	
Hallway	outside
Spave Bedroom	outlet
Garage	Shower Light
Disposal	Master Bath
Kitchen Lights	Master Bath outlet
Basement Lights	Dryer
Dishwasher	

174. Breakers - basement



175. Breakers - basement

System grounding material and type: • Not visible

Auxiliary panel (subpanel) type and location:

- Breakers - garage

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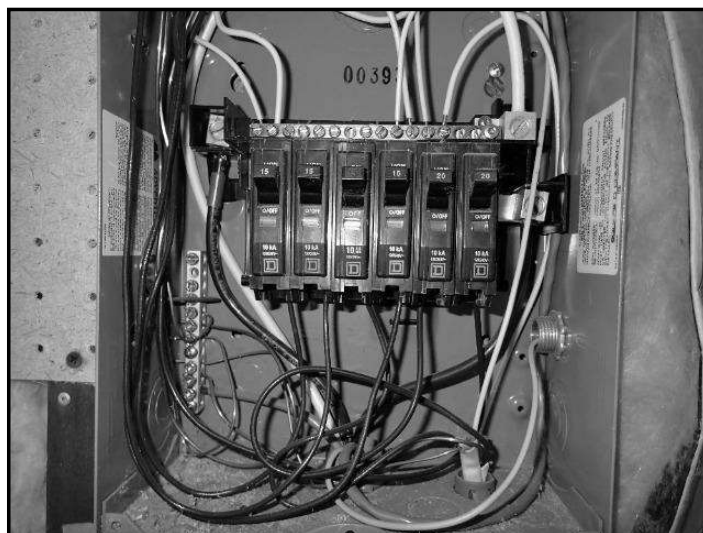
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176. Breakers - garage



177. Breakers - garage



178. Breakers - garage

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles): • Grounded - typical

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCIs present • GFCI - bathroom • GFCI - kitchen

Smoke alarms (detectors): • Present

Carbon monoxide (CO) alarms (detectors): • Present

Recommendations

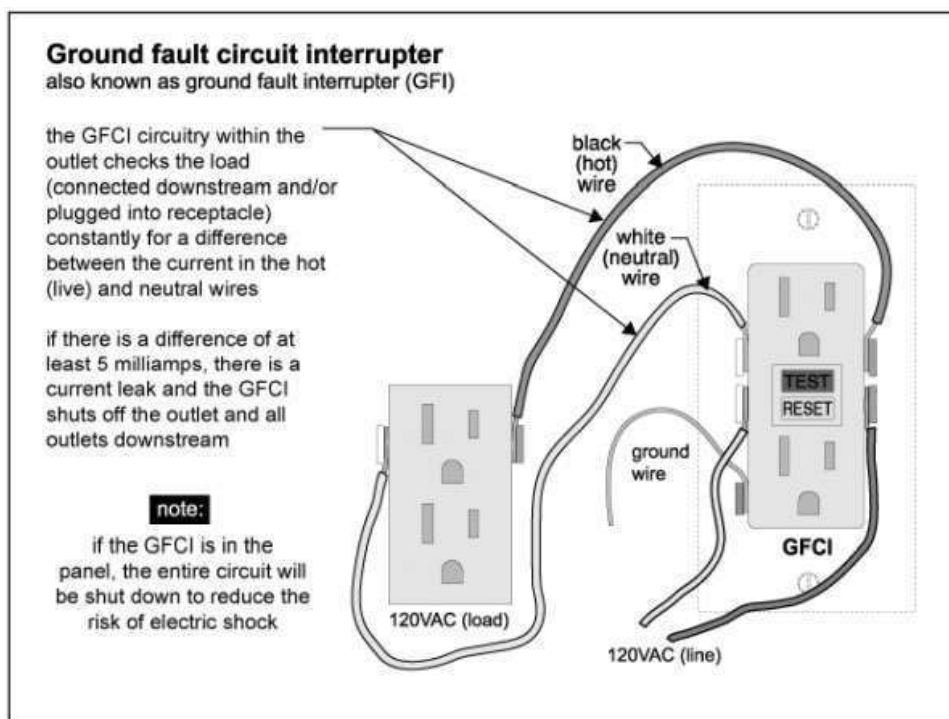
DISTRIBUTION SYSTEM \ Outlets (receptacles)**30. Condition:** • GFCI/GFI needed (Ground Fault Circuit Interrupter)

There should be a properly installed and grounded GFCI receptacle within 6ft of all water sources. (Especially at kitchens, bathrooms, and laundry areas). The kitchens, bathrooms, exterior, and laundry area are of the greatest concern.

Implication(s): Electric shock

Location: Exterior

Task: Improve Correct



179. *GFCI/GFI needed (Ground Fault Circuit...*

DISTRIBUTION SYSTEM \ Cover plates

31. Condition: • Missing

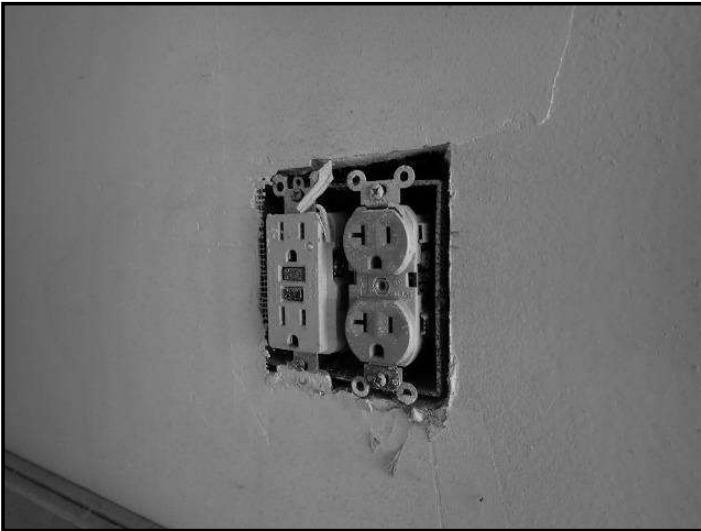
There are various areas where the cover plates are missing that should be provided. Any others found should be replaced as well.

Implication(s): Electric shock

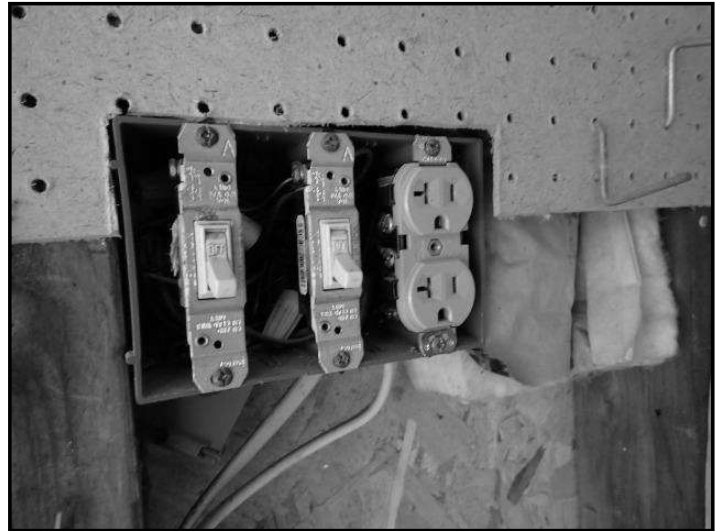
Location: Various Basement Exterior

Task: Provide Improve Correct

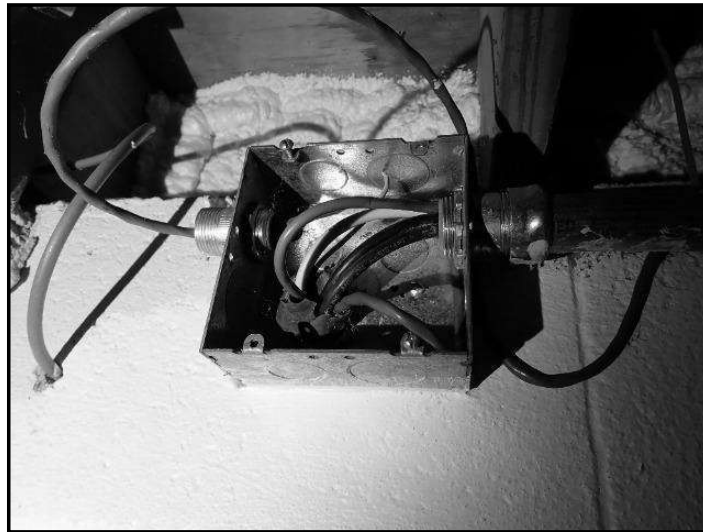
Time: Immediate



180. Missing



181. Missing



182. Missing

DISTRIBUTION SYSTEM \ Lights

32. Condition: • Inoperative

There are a few lights that were inoperative at the time of the inspection and may just need bulbs.

Implication(s): Inadequate lighting

Location: Various

Task: Repair or replace Improve Correct

Time: Discretionary



183. Inoperative



184. Inoperative

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

33. Condition: • Missing

DEFECT - There should be a functioning smoke and carbon monoxide detector on each floor. They should be checked once a month and replaced every 8-10 years. Some of the areas of the home have none or are out of date. Smoke detectors should not be placed in the kitchen area.

A high quality combo (CO & Smoke is recommended)

Recommended unit:

<https://amzn.to/3YS6RjS>

Implication(s): Safety issue

Location: Various Basement

Task: Provide Improve Correct

Time: Immediate

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185. *Missing*

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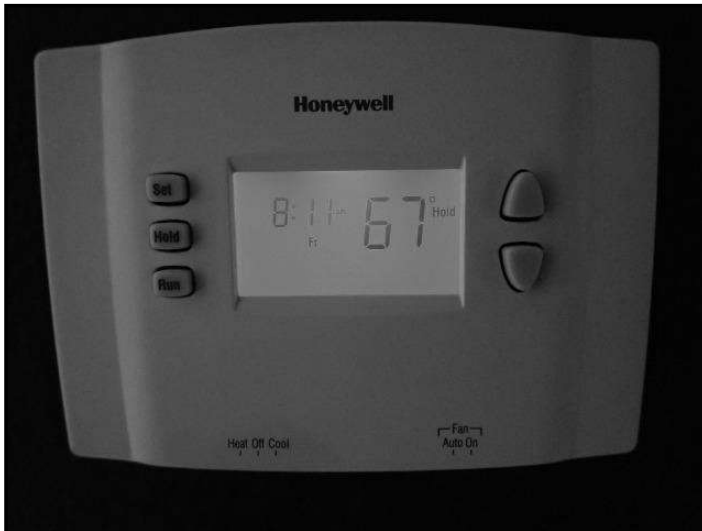
Description

Heating system type: • Furnace • The heating system should be serviced a minimum every 2 years; all filters should be changed every 3-6 months depending on size.

Fuel/energy source: • Gas

Furnace manufacturer:

• Carrier



186. Carrier



187. Carrier

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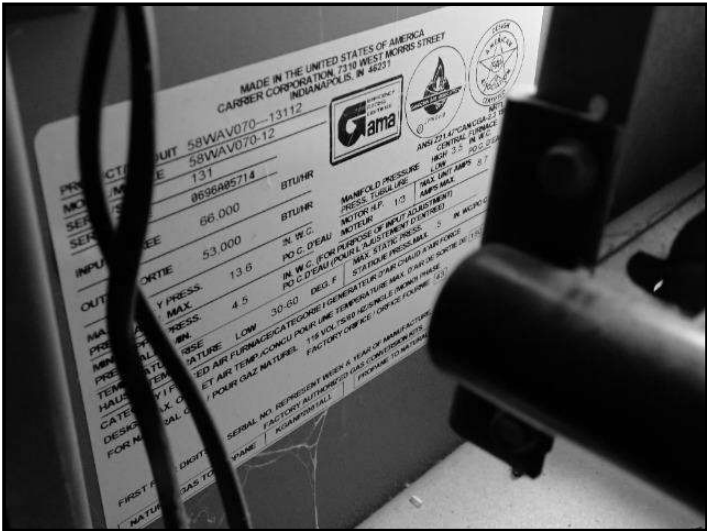
SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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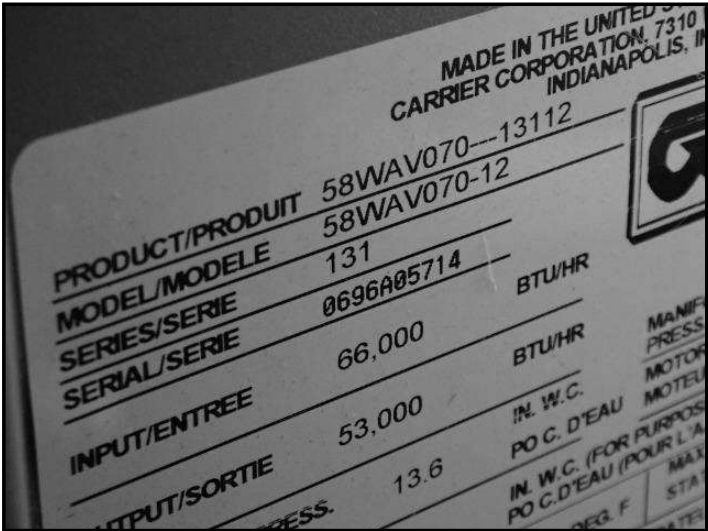
188. Carrier



189. Carrier



190. Carrier



191. Carrier

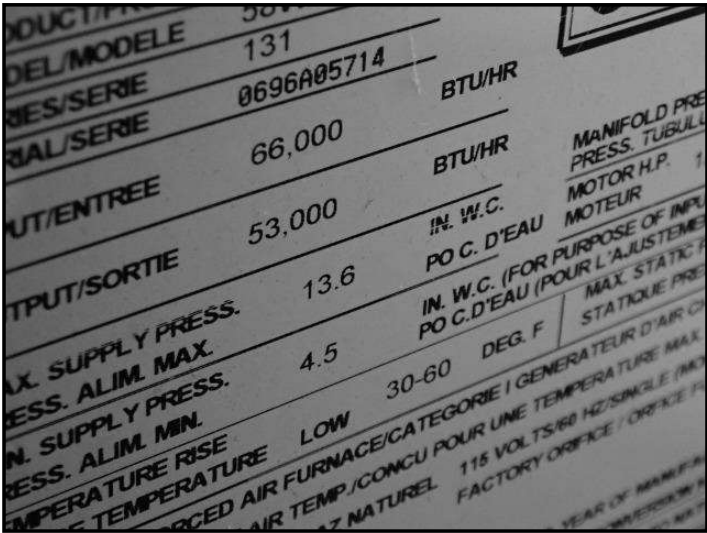
HEATING

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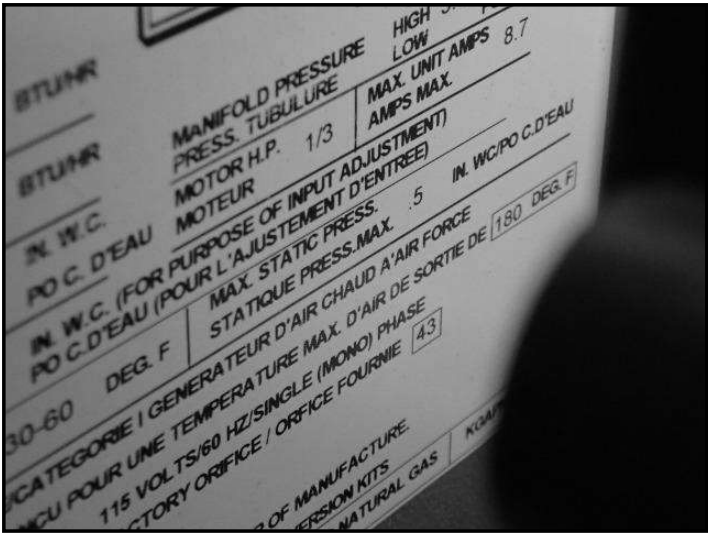
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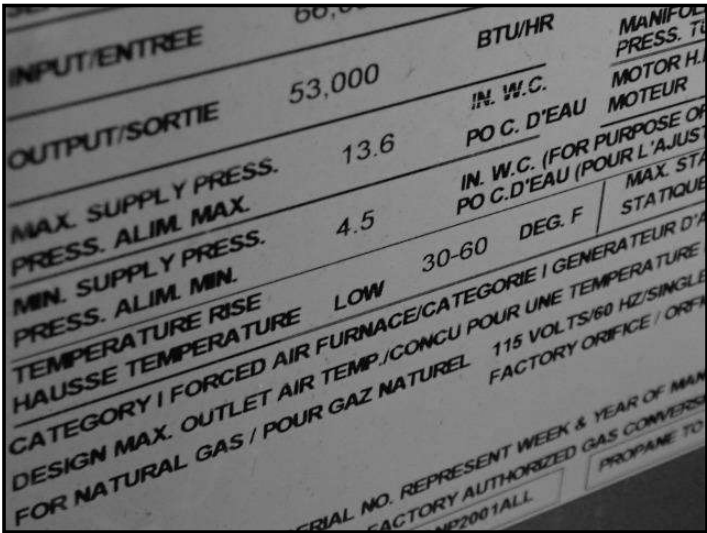
- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
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192. Carrier



193. Carrier



194. Carrier



195. Carrier

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196. Carrier

Heat distribution: • Ducts and registers

Approximate capacity: • 65,000 BTU/hr

Efficiency: • Conventional

Approximate age: • 29 years

Main fuel shut off at:

- Meter



197. Meter

- Exterior wall

Failure probability:

- High

Due to age, condition, and manufacturer's listed life expectancy. The unit is not displaying any signs of eminent failure.

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Supply temperature: • 140°

Return temperature: • 70°

Temperature difference: • 70°

Air filter:

- Mechanical

The filters should be changed every 6 months on the unit to promote the life of the HVAC equipment.

Note: Setting up a timed delivery on Amazon is a great reminder - highlight the url and paste it into your browser to go to the amazon link

16x25x1 filter - <https://amzn.to/3vF2uN5>

16x25x4 filter - <https://amzn.to/3xgn1lf>

16x25x5 filter - <https://amzn.to/3J53XPR>

20x25x1 filter - <https://amzn.to/3PPaxhm>

20x25x4 filter - <https://amzn.to/43Twule>

20x25x5 filter - <https://amzn.to/3vQhfN4>



198. Mechanical

- Disposable

Chimney/vent:

- Masonry



199. Mechanical

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200. Masonry



201. Masonry

Humidifier:

- Duct mounted bypass humidifier

The humidification system was not functioning as expected at the time of the inspection.

Limitations

Inspection prevented/limited by: • Chimney interiors and flues are not inspected. If the house has a chimney it should be cleaned and inspected. If it was not cleaned and inspected as a part of your home inspection (requires special equipment) it is recommended it be cleaned and inspected within your inspection contingency as if damaged is is expensive to repair or replaced. If the flue/chimney is damaged it can also be an extreme safety hazard. What a home inspector can visually see during an inspection is very limited.

Recommendations

FURNACE \ Humidifier

- 34. Condition:** • Inoperative motor or solenoid valve

The humidification system was not functional at the time of the inspection and the most likely cause is a malfunctioning solenoid valve.

Implication(s): Equipment inoperative

Location: Basement

Task: Further evaluation Improve Correct

Time: Discretionary

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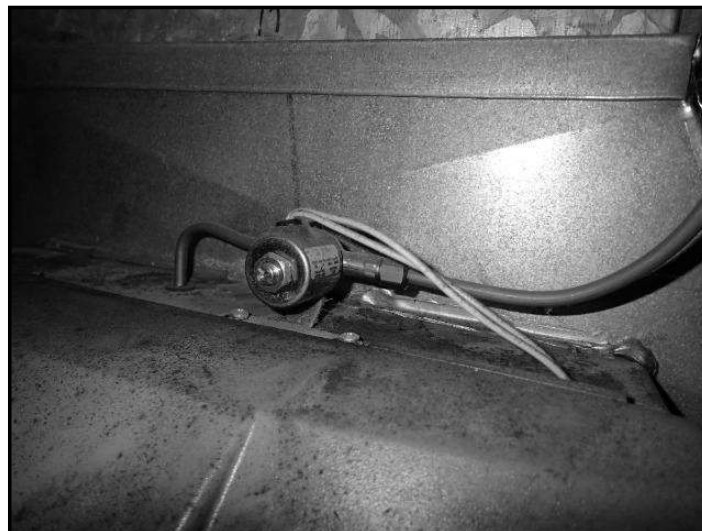
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202. Inoperative motor or solenoid valve



203. Inoperative motor or solenoid valve



204. Inoperative motor or solenoid valve

GAS FURNACE \ Heat exchanger

35. Condition: • Cracks, holes or rust

DEFECT - Further evaluation by a qualified professional HVAC technician is needed to determine the furnace viability. Carrier furnaces of this age had heat exchanger problems and there was a large recall. Given its age and condition there may be other issues discovered during this process.

Implication(s): Reduced system life expectancy | Hazardous combustion products entering home

Location: Basement

Task: Further evaluation

Time: Immediate

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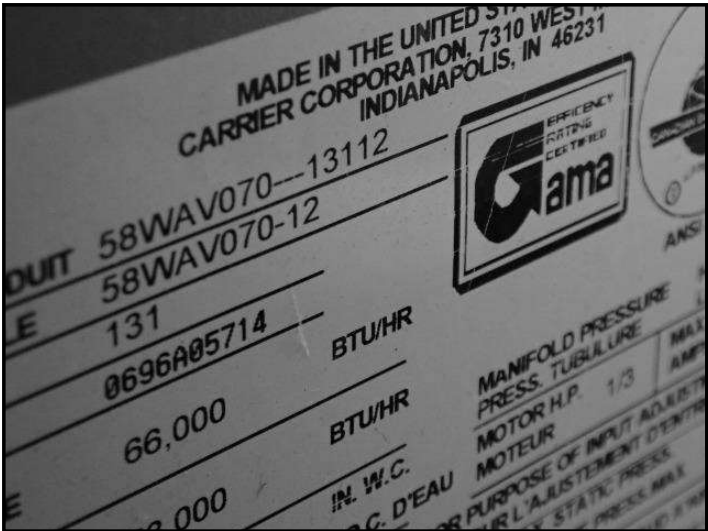
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205. Cracks, holes or rust



206. Cracks, holes or rust