

PROJECT NAME:

Waldo High School Apartments

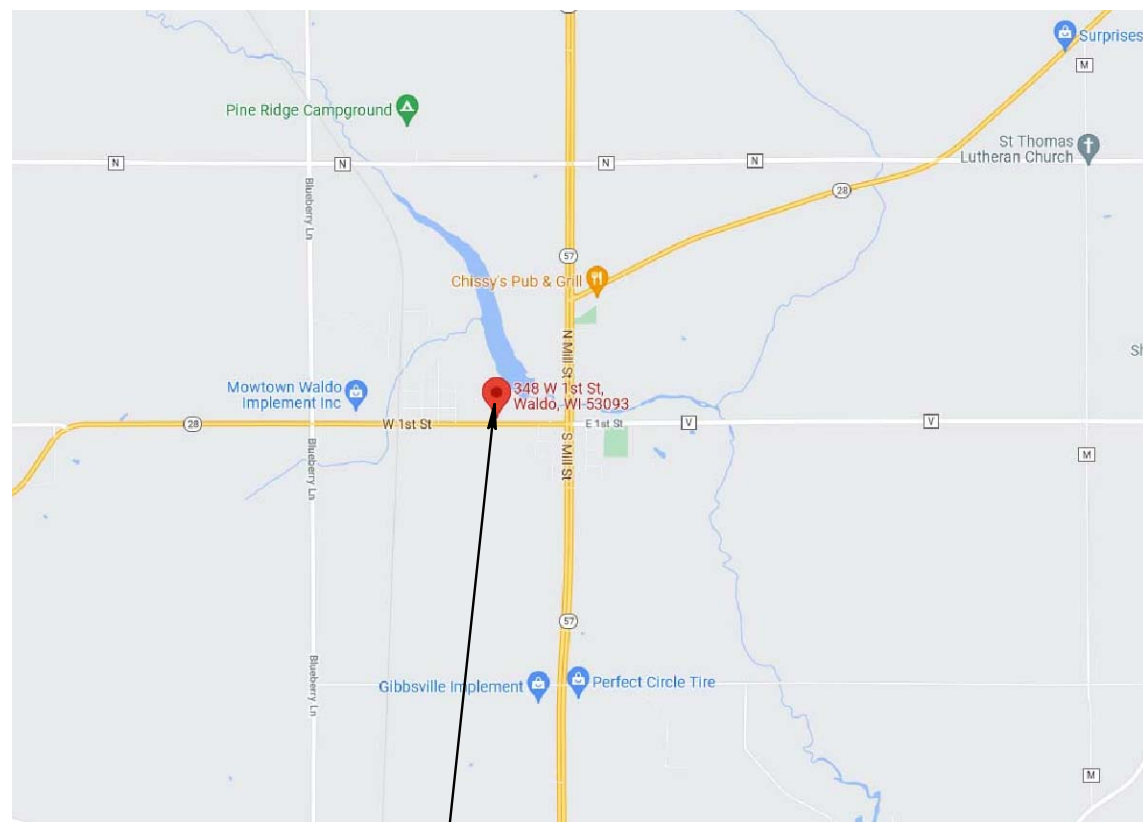
348 West 1st Street
Waldo, WI 53093

GENERAL CONDITIONS:

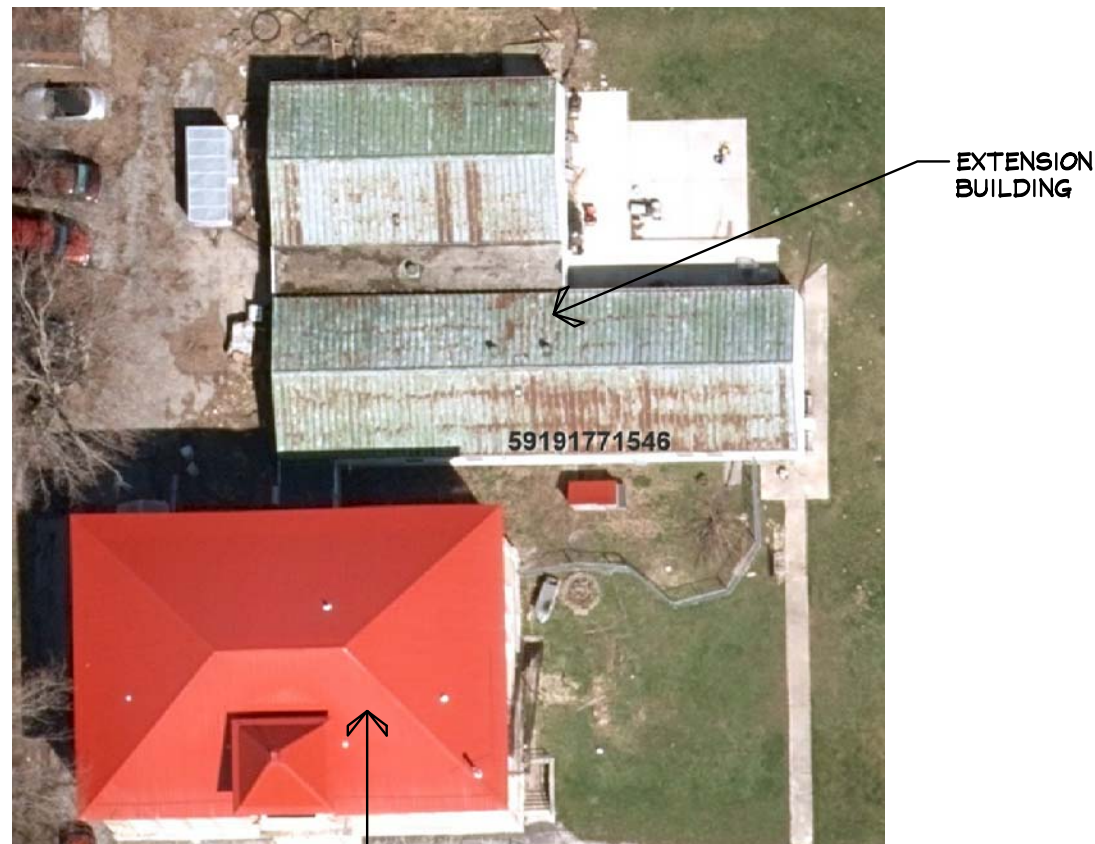
- SCOPE OF DRAWINGS: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.
- ALL CONTRACTORS SHALL BE RESPONSIBLE TO INSTALL ALL ITEMS SPECIFIED USING CONSTRUCTION THAT WILL PROTECT AT ALL TIMES, PROPERTY AND PREVENT BODILY INJURY AND OR DEATH. SPECIAL ATTENTION AND PRECAUTION SHALL BE PAID BY THE CONTRACTORS IN SELECTING THE SAFEST METHODS OR MEANS FOR THE INSTALLATION.
- THE ARCHITECT/ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND SHALL NOT ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND ACCEPTED BY THE ARCHITECT AND LEFT IN PERFECT OPERATING CONDITION.
- ALL CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING THE FINAL BID. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ARCHITECT AT ONCE.
- ALL CONTRACTORS SHALL CAREFULLY REVIEW THE DRAWINGS AND OTHER CONTRACT DOCUMENTS PRIOR TO SUBMITTING THE FINAL BID. IF THERE ARE ANY DISCREPANCIES, EACH CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE.
- ALL WORK SHALL BE PERFORMED IN A WORKMAN LIKE MANNER. EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC., FOR THE COMPLETE CONSTRUCTION OF WORK INDICATED AND SPECIFIED BY THE DRAWINGS AND SPECIFICATION. MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. CONTRACTOR SHALL AMEND AND MAKE GOOD AT THEIR OWN COST, ANY DEFECTS OR OTHER FAULTS IN THEIR WORKMANSHIP AND OR MATERIAL. CONTRACTOR IS TO CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY THEIR WORK.
- NON-BEARING PARTITIONS ARE TO BE LAID OUT SO THAT STOCK COMPONENTS WILL FIT EXACTLY WITHIN INDICATED DIMENSIONS. THE GENERAL TRADES CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY ARCHITECT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- PLUMBING SCHEMATIC DRAWINGS, HVAC DRAWINGS, SEWER MAINS, ELECTRICAL OUTLETS, SWITCHES, LIGHT LOCATIONS FOR ROUTING ALL PLUMBING, HEATING, VENTILATING, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, HEATING, VENTILATING, OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWINGS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR.
- DO NOT SCALE DRAWINGS.

GENERAL CONSTRUCTION NOTES:

- EACH CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR UNLOADING, STORING, INSPECTION FOR DAMAGE WHEN RECEIVED AND LOSS FROM SITE AND/OR DAMAGE AFTER RECEIPT FOR ALL MATERIALS FURNISHED BY OWNER.
- NO PRODUCT SUBSTITUTION WILL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE OWNER OR ARCHITECT REPRESENTATIVE.
- ALL WORK TO BE NEW EXCEPT WHERE INDICATED AS EXISTING.
- EACH CONTRACTOR SHALL INSURE THAT ALL BUILDING WORK WILL COMPLY WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES GOVERNING AUTHORITIES AND UNDERWRITER REGULATIONS.
- ALL OPENINGS AND OTHER PROVISIONS NECESSARY FOR INSTALLATION OF ARCHITECTURAL, PLUMBING, HEATING, VENTILATING, FIRE PROTECTION, ELECTRICAL OR OWNERS APPARATUS AND EQUIPMENT, MUST BE VERIFIED WITH THE SPECIFIC TRADES INVOLVED AND WITH OWNERS REPRESENTATIVE PRIOR TO INSTALLATION AND MUST BE OF SIZE, LOCATION, CONFIGURATION, ETC., REQUIRED.
- ALL CONTRACTORS MUST EXERCISE EXTREME CARE SO AS NOT TO DAMAGE EXISTING CONSTRUCTION ITEMS AND SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ALL NEW PARTITIONS WHICH ARE TO EXTEND TIGHT UP TO THE FLOOR OR ROOF CONSTRUCTION ABOVE, ARE TO BE CUT TO FIT AROUND BEAMS, JOISTS, DUCTS, CONDUITS, PIPES, HANGERS, ETC. ALL SUCH CUTS SHALL BE ACCURATE AND STRAIGHT AND BE SEALED WITH APPROPRIATE FIRESTOPPING, MORTAR OR TAPE AND COMPOUND AND MADE AIRTIGHT.
- AT ALL LOCATIONS WHERE FLOOR IS TO BE CUT TO PROVIDE FOR NEW FLOOR POWER OR PLUMBING, SLAB IS TO BE REPAIRED FLUSH WITH AND TO MATCH EXISTING ADJACENT FLOOR SLAB CONSTRUCTION.



PROJECT LOCATION
NO SCALE



BUILDING DESIGNATION
NO SCALE

MECHANICAL, ELECTRICAL, PLUMBING & FP
DESIGN - BUILD

DRAWING INDEX :

ARCHITECTURAL:

T 1.0 TITLE SHEET

C 1.0 SITE PLAN

G 0.1 CODE PLAN
G 0.2 WALL TYPES
G 1.0 EXISTING PLANS
G 1.1 EXISTING ELEVATIONS

D 1.0 DEMO PLANS
D 1.1 DEMO ELEVATIONS

A 1.0 LOWER LEVEL PLAN
A 1.1 FIRST FLOOR PARTIAL PLAN
A 1.2 FIRST FLOOR PARTIAL PLAN
A 1.3 SECOND FLOOR PLAN

A 2.0 EXTERIOR ELEVATIONS

A 3.0 SECTIONS

A 4.0 CASEWORK ELEVATIONS
A 4.1 CASEWORK ELEVATIONS

A 6.0 REFLECTED CEILING PLAN

ELECTRICAL

E 1.0 ELECTRICAL PLAN

STRUCTURAL

S 1.0 DETAILS

CODE INFORMATION :

MAIN BUILDING:

CODE AND PROJECT SCOPE:
2015 IEBC - CHAPTER 14 PERFORMANCE COMPLIANCE METHOD

COMMERCIAL BUILDING - TWO STORY

PROJECT AREA =
LOWER LEVEL 2,560 SF
FIRST FLOOR 8,125 SF
SECOND FLOOR 3,500 SF
TOTAL: 14,185 SF

FIRE PROTECTION SYSTEMS

NO FIRE SUPPRESSION

TYPE OF CONSTRUCTION

TYPE 3-B (COMBUSTIBLE PROTECTED)

STRUCTURAL FRAMING 0 HOUR
BEARING WALLS (EXT.) 2 HOUR
BEARING WALLS (INT.) 0 HOUR
NON-BEARING WALLS (EXT.) 0 HOUR (> 30 ft.)
NON-BEARING WALLS (INT.) 0 HOUR
FLOOR CONSTRUCTION 0 HOUR
ROOF CONSTRUCTION 0 HOUR

USE and OCCUPANCY

GROUP R-2 "RESIDENTIAL - MULTIFAMILY"

ACCESSIBILITY REQUIREMENTS

IEBC 310.1 EXCEPTION - TYPE 'B' UNITS REQUIRED BY
IBC 1107 ARE NOT REQUIRED
IBC 1107.6.2.1.1 - TYPE A UNITS REQUIRED IF 120 UNITS
NO TYPE A UNITS REQUIRED

IEBC 310.4.2 ACCESSIBLE ROUTE - TECHNICALLY INFEASIBLE EXISTING
STAIRWAYS ARE NOT WIDE ENOUGH TO ALLOW PLATFORM LIFTS
AND CEILING HEIGHT LIMITATIONS PREVENT VERTICAL LIFTS

IEBC 310.6 - DISPROPORTIONATE COST TO ADD AN EXTERNAL ELEVATOR
OR LIFT TOWER IN A LOCATION ACCESSIBLE TO MAIN FLOOR
LEVELS - SEE WORKSHEET

UNIT INFORMATION :

LOWER LEVEL:
UNIT # BEDROOMS BATHROOMS SQ. FT.
B100 1 BED 1 BATH 1126 SF.

FIRST FLOOR
UNIT # BEDROOMS BATHROOMS SQ. FT.
100 2 BED 2 1/2 BATH 1230 SF.
101 2 BED 2 1/2 BATH 1244 SF.
102 2 BED 2 BATH 1110 SF.
103 2 BED 2 BATH 1183 SF.
104 3 BED 2 BATH 1380 SF.

SECOND FLOOR
UNIT # BEDROOMS BATHROOMS SQ. FT.
200 3 BED 3 1/2 BATH 1555 SF.
201 2 BED 2 1/2 BATH 1186 SF.

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Sheet Contents

TITLE SHEET
CODE INFO
NOTES
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Issued For: Date:
Prelim 1 2 Dec, 2021
Review Set 23 Jan, 2022
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Checked By: DG

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SITE PLAN

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2 Dec, 2021
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Checked By:

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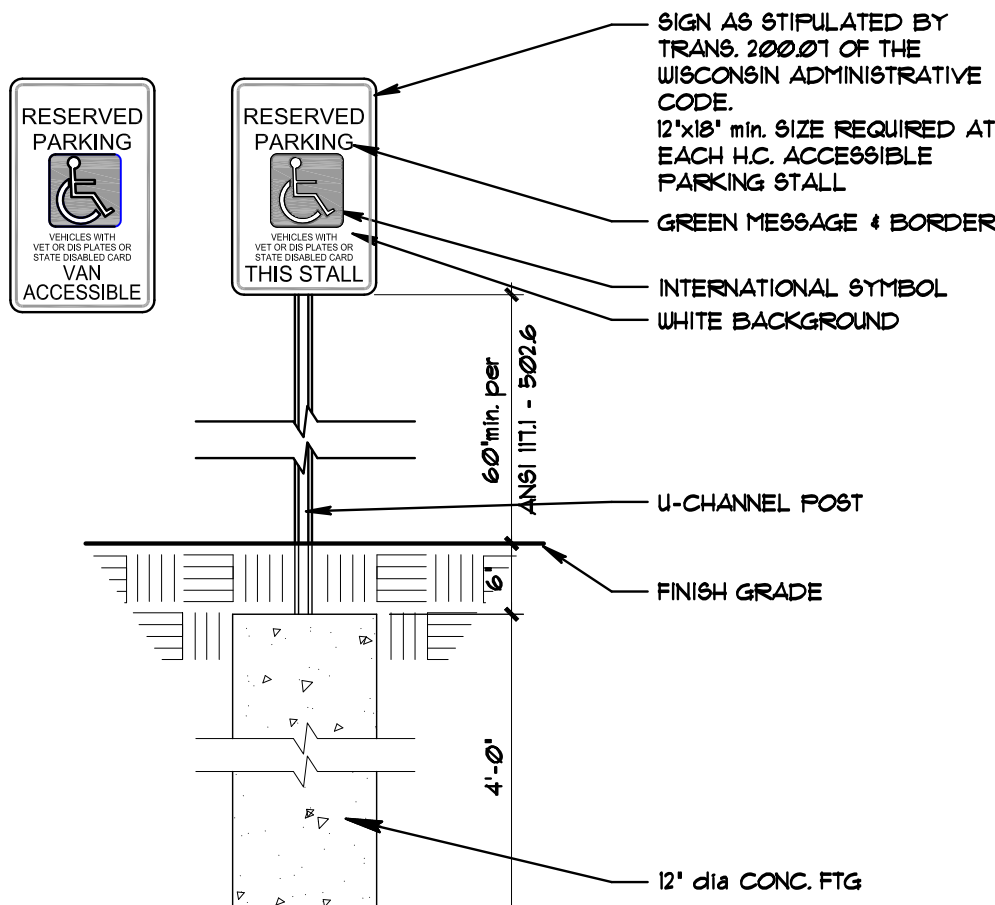
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Job Number:

21.007

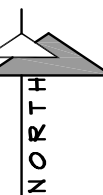
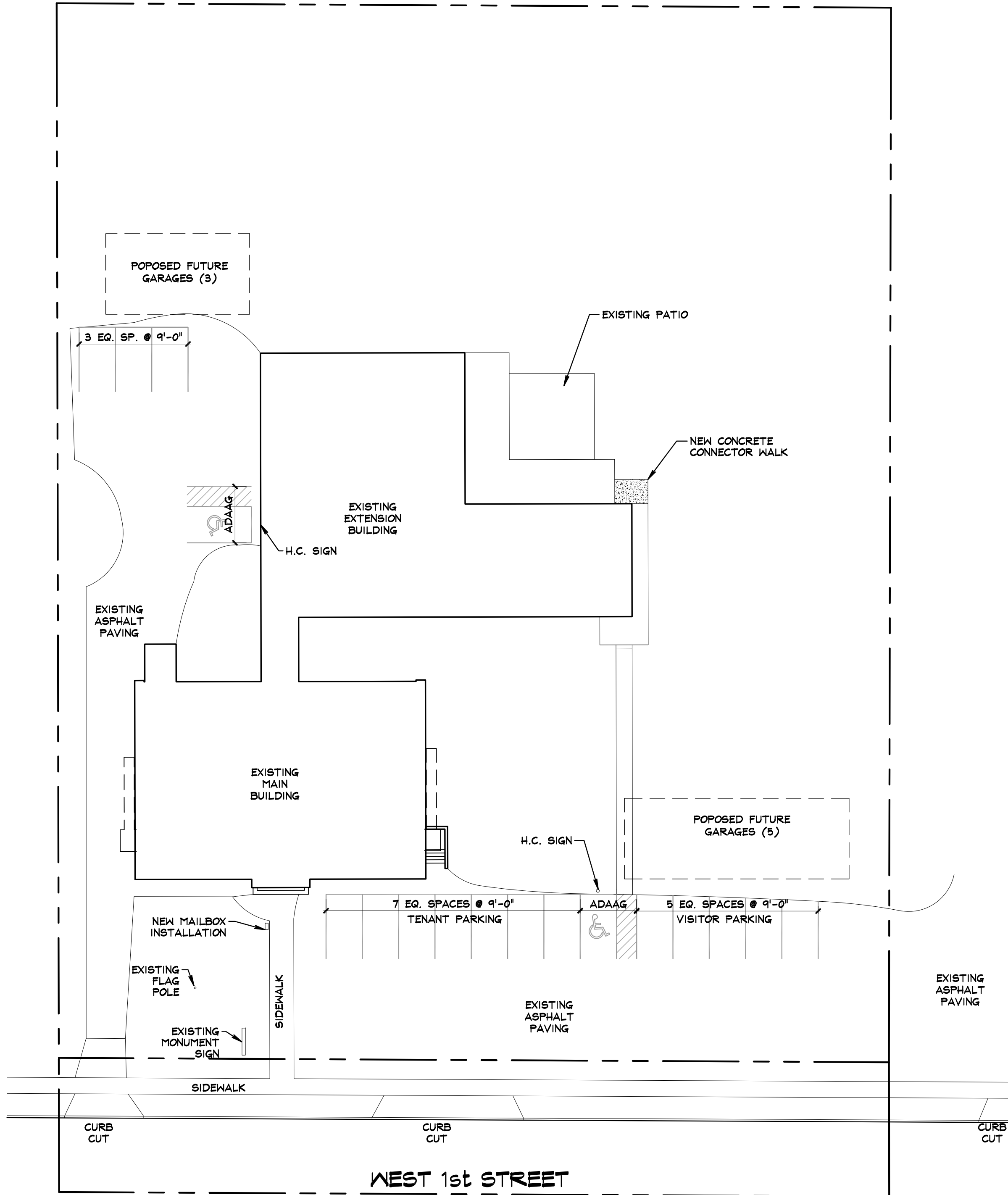
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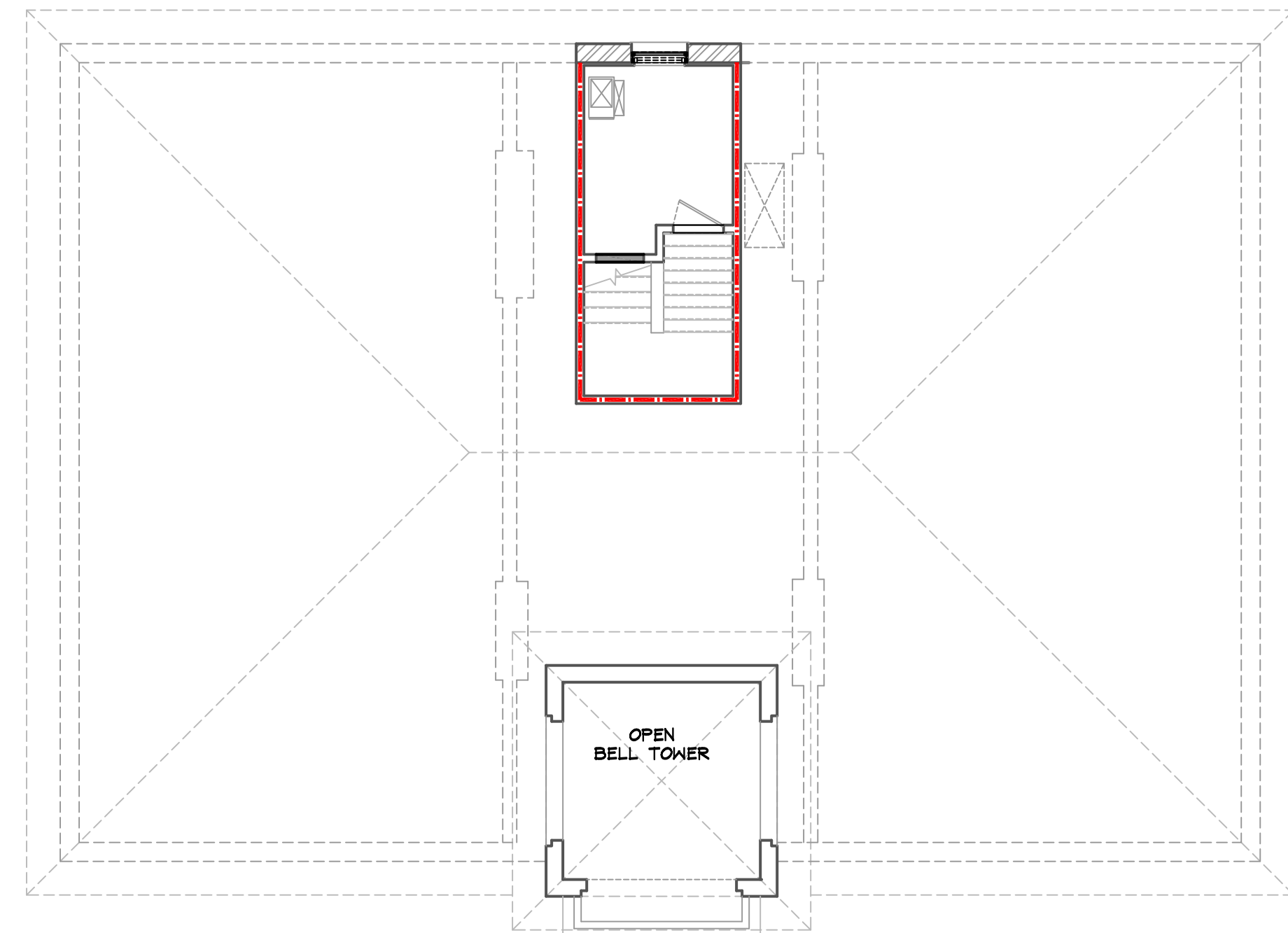
4 HANDICAP SIGN DETAIL

N.T.S.



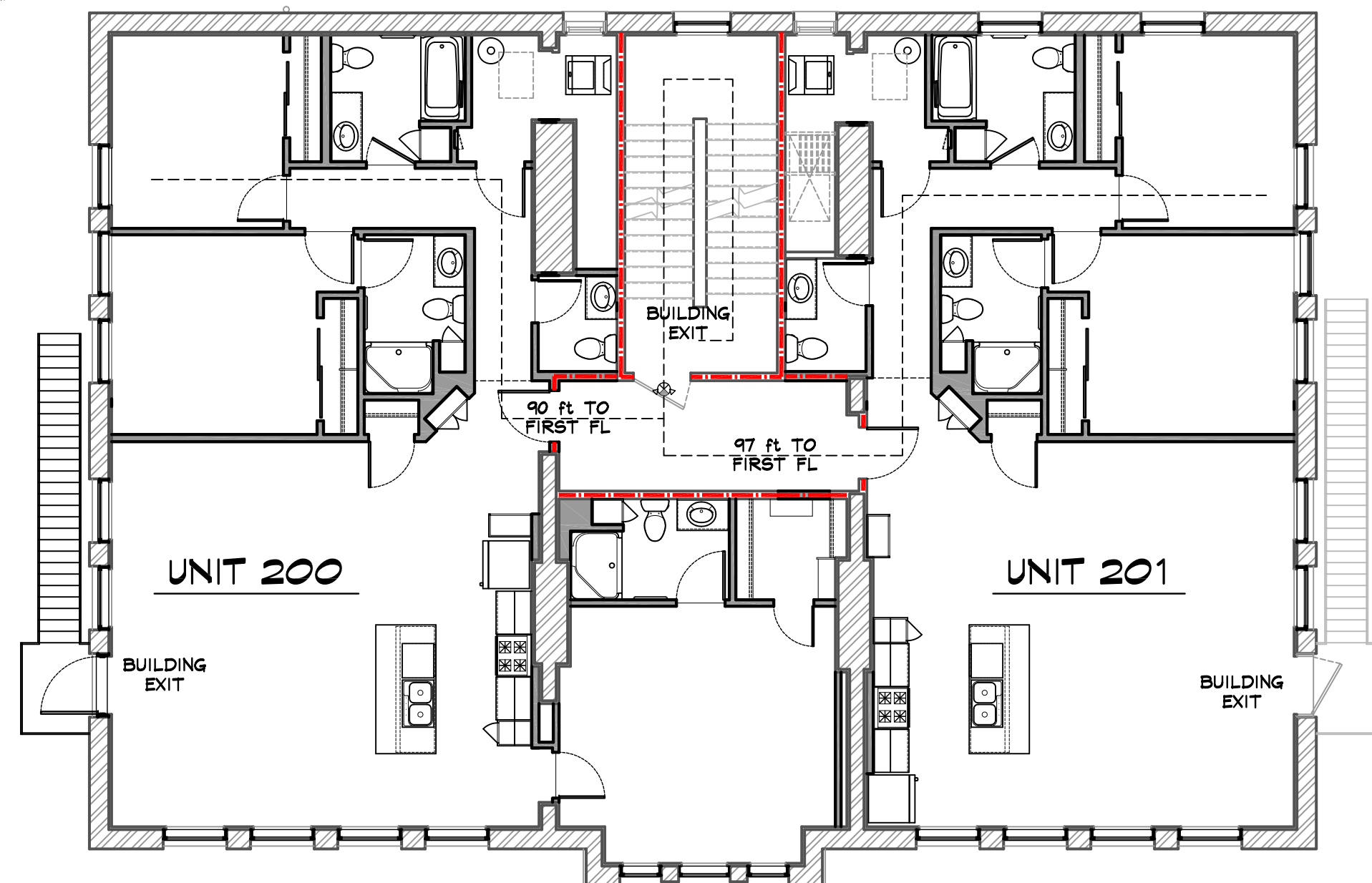
2 SITE PLAN

1" = 20'-0"



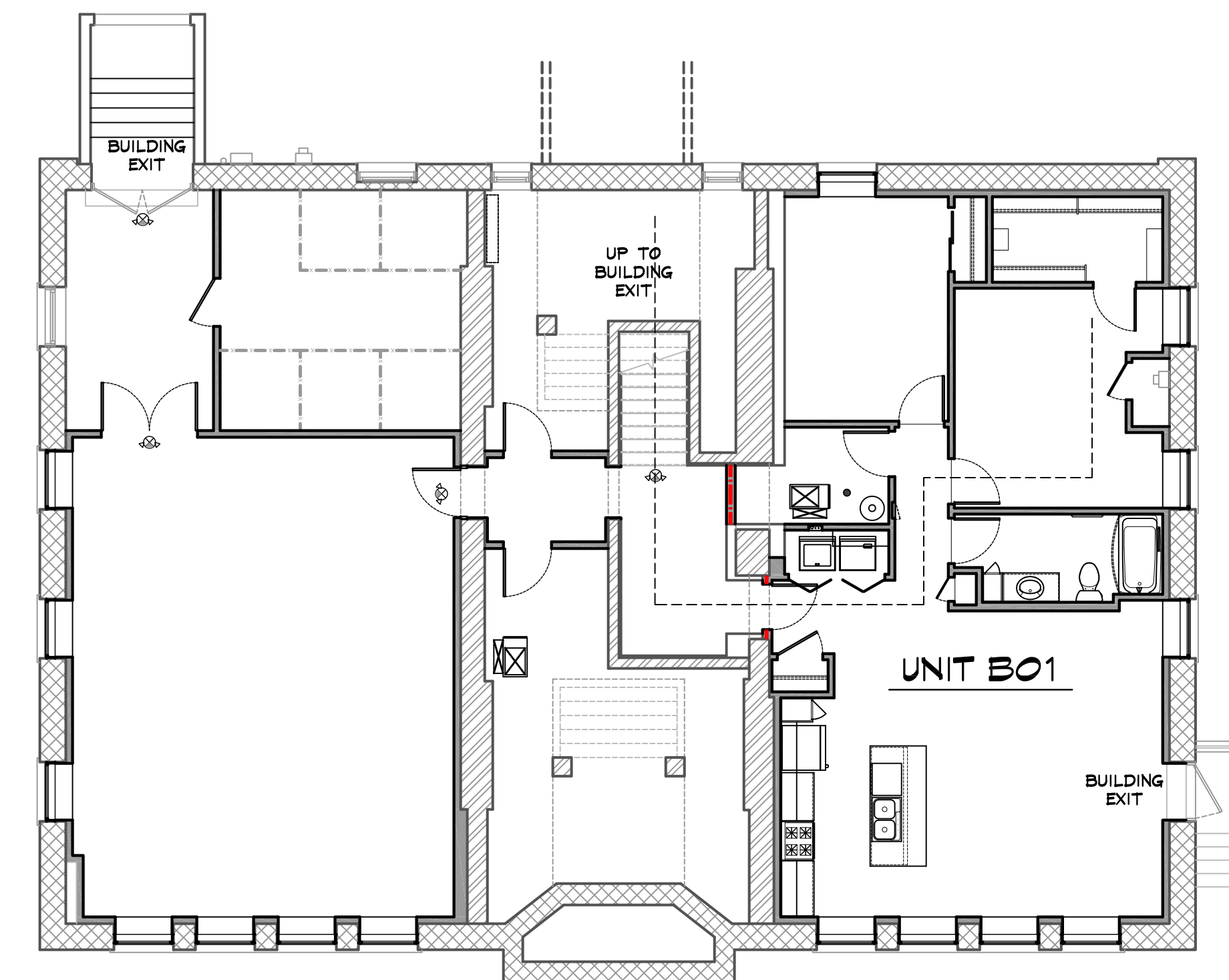
15 EXISTING ROOF PLAN

1/8" = 1'-0"



10 EXISTING SECOND FLOOR PLAN

1/8" = 1'-0"



5 EXISTING LOWER FLOOR PLAN

1/8" = 1'-0"

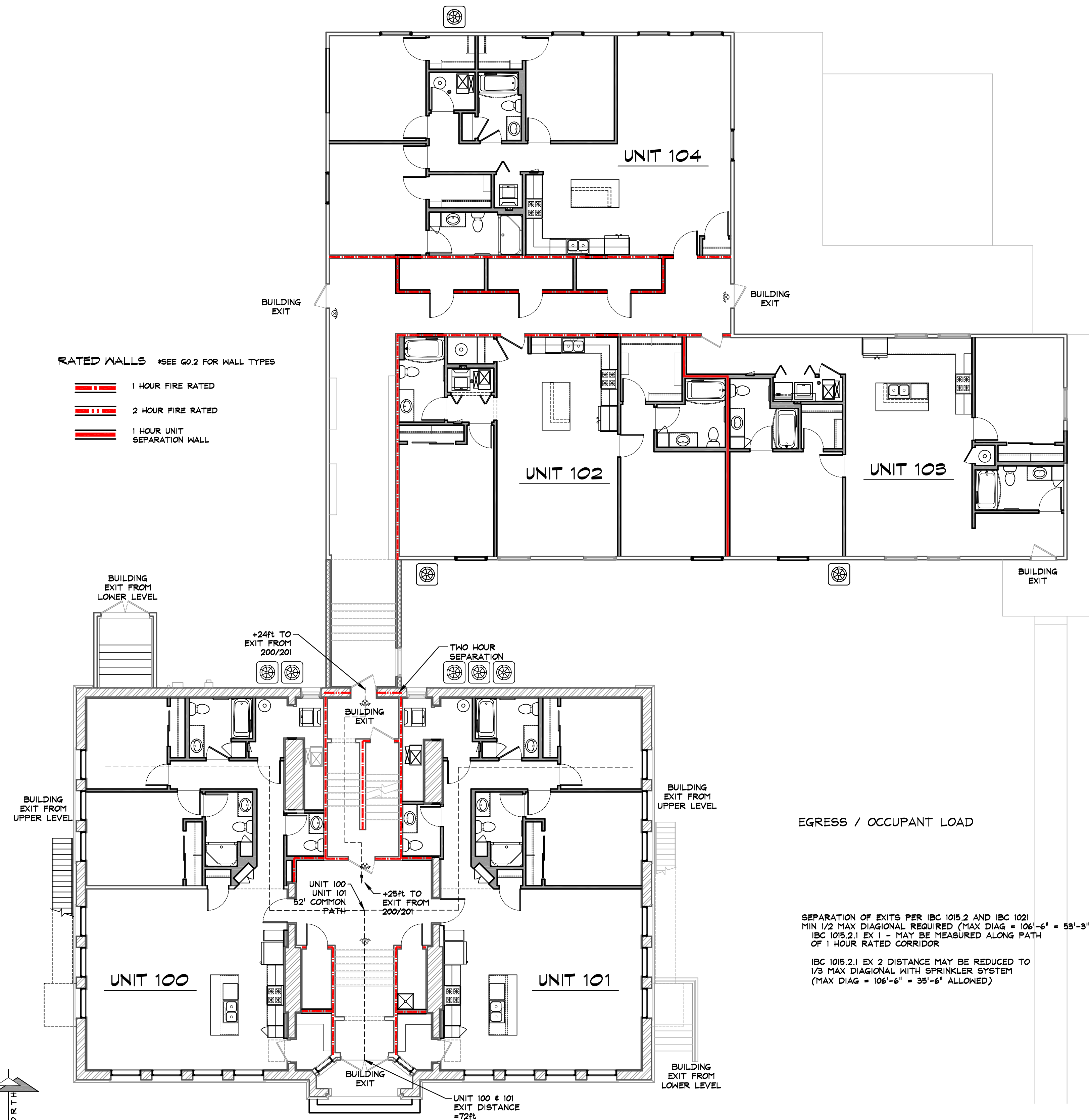
EGRESS DISTANCE
NO. EXITS REQUIRED (IBC 1006.2.1) = 2
COMMON PATH (IBC 1006.2.1) = 75
EXIT TRAVEL DISTANCE (IBC 1017.2) = 200ft

EGRESS NOTES:
LOWER LEVEL UNIT B01 HAS EGRESS THROUGH THE BUILDING AND A DIRECT EGRESS FROM UNIT VIA EXTERIOR STAIRS ON EAST SIDE.
SECOND FLOOR UNITS 200 AND 201 HAVE EGRESS THROUGH THE BUILDING AND DIRECT EGRESS VIA EXTERIOR STAIRS ON EACH SIDE.

OCCUPANT LOAD
UNIT B01 = 1126 SF (AT 1 PER 200) = 6
UNIT 100 = 1230 SF (AT 1 PER 200) = 7
UNIT 101 = 1244 SF (AT 1 PER 200) = 7
UNIT 102 = 1110 SF (AT 1 PER 200) = 6
UNIT 103 = 1183 SF (AT 1 PER 200) = 6
UNIT 104 = 1380 SF (AT 1 PER 200) = 7
UNIT 200 = 1555 SF (AT 1 PER 200) = 8
UNIT 201 = 1186 SF (AT 1 PER 200) = 6

RATED WALLS #SEE 602 FOR WALL TYPES

- 1 HOUR FIRE RATED
- 2 HOUR FIRE RATED
- 1 HOUR UNIT SEPARATION WALL



3 EXISTING MAIN FLOOR PLAN

1/8" = 1'-0"

EGRESS / OCCUPANT LOAD

SEPARATION OF EXITS PER IBC 1015.2 AND IBC 1021
MIN 1/2 MAX DIAGONAL REQUIRED (MAX DIAG = 106'-6" = 53'-3")
IBC 1015.2.1 EX 1 - MAY BE MEASURED ALONG PATH OF 1 HOUR RATED CORRIDOR
IBC 1015.2.1 EX 2 DISTANCE MAY BE REDUCED TO 1/3 MAX DIAGONAL WITH SPRINKLER SYSTEM (MAX DIAG = 106'-6" = 35'-6" ALLOWED)

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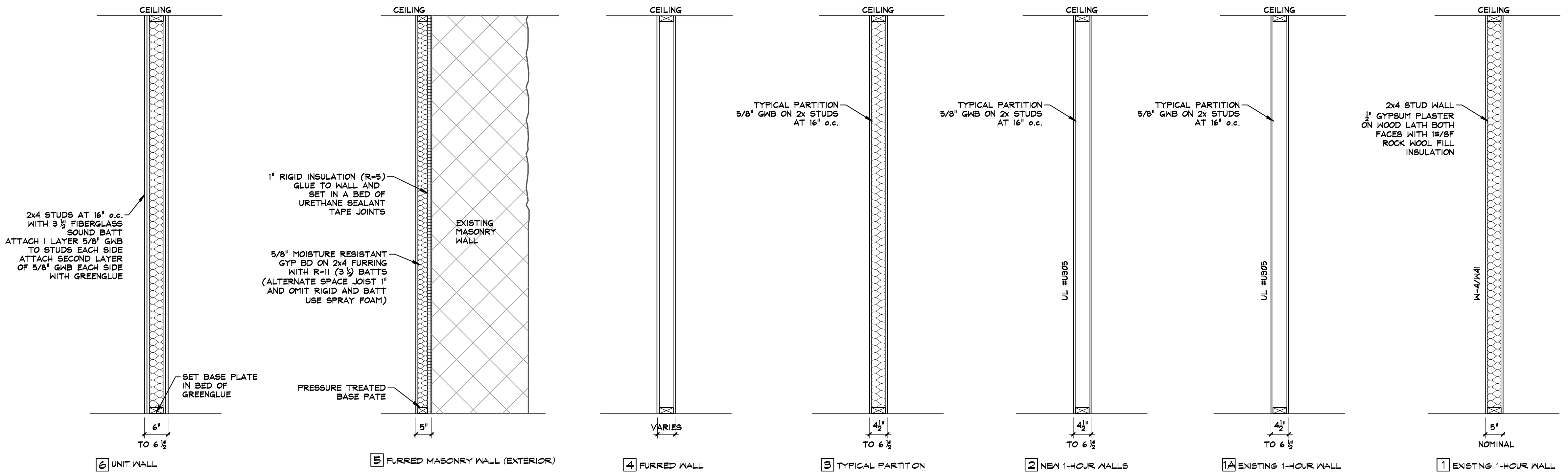
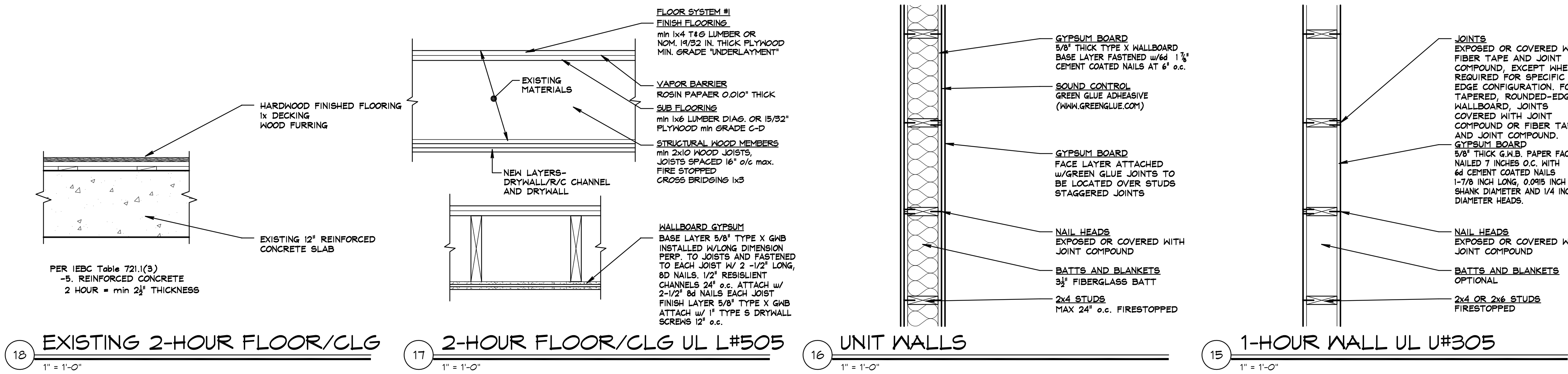
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4 WALL TYPES
1" = 1'-0"

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WALL TYPES
WALL DETAILS
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EXISTING PLANS

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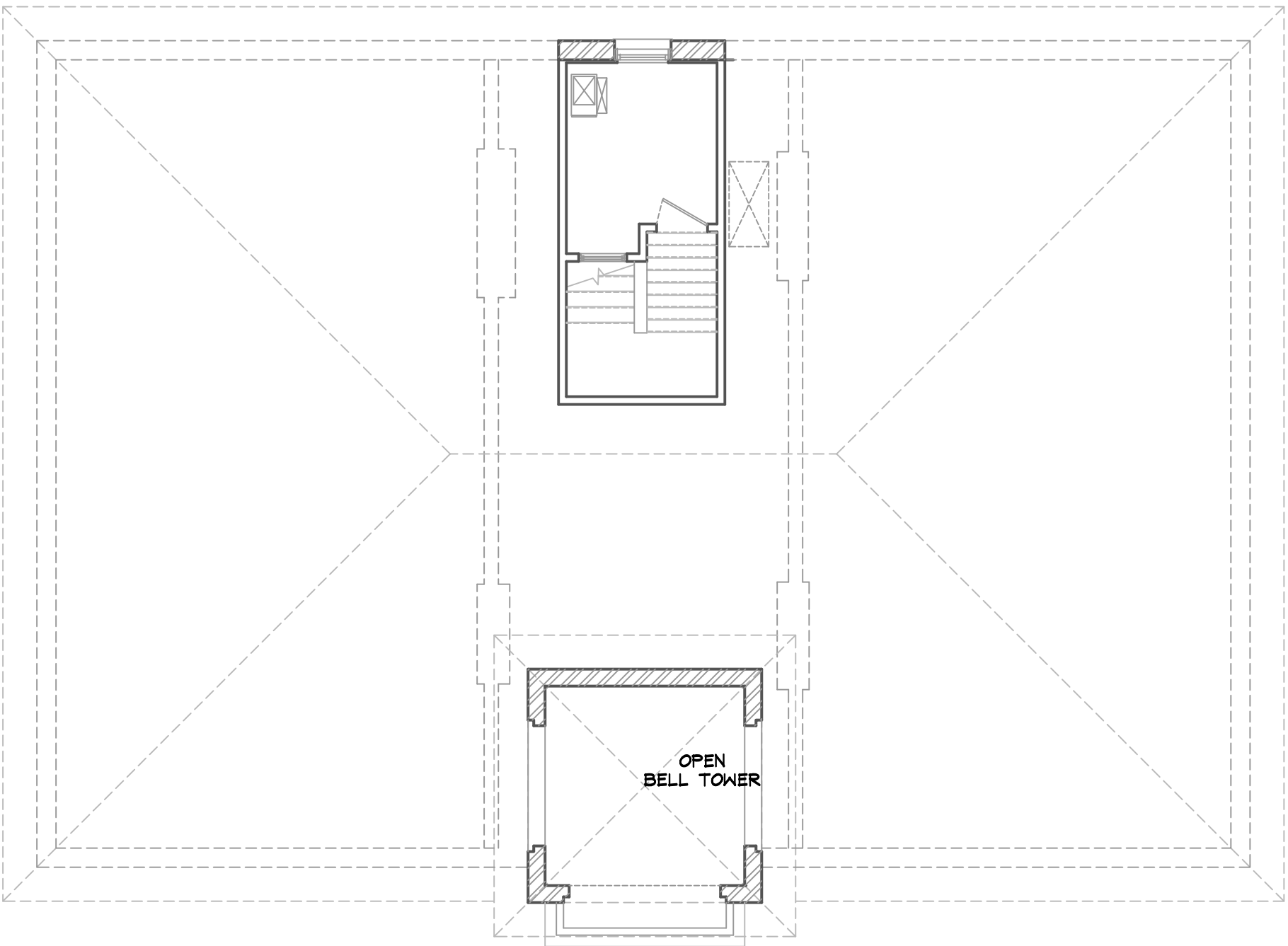
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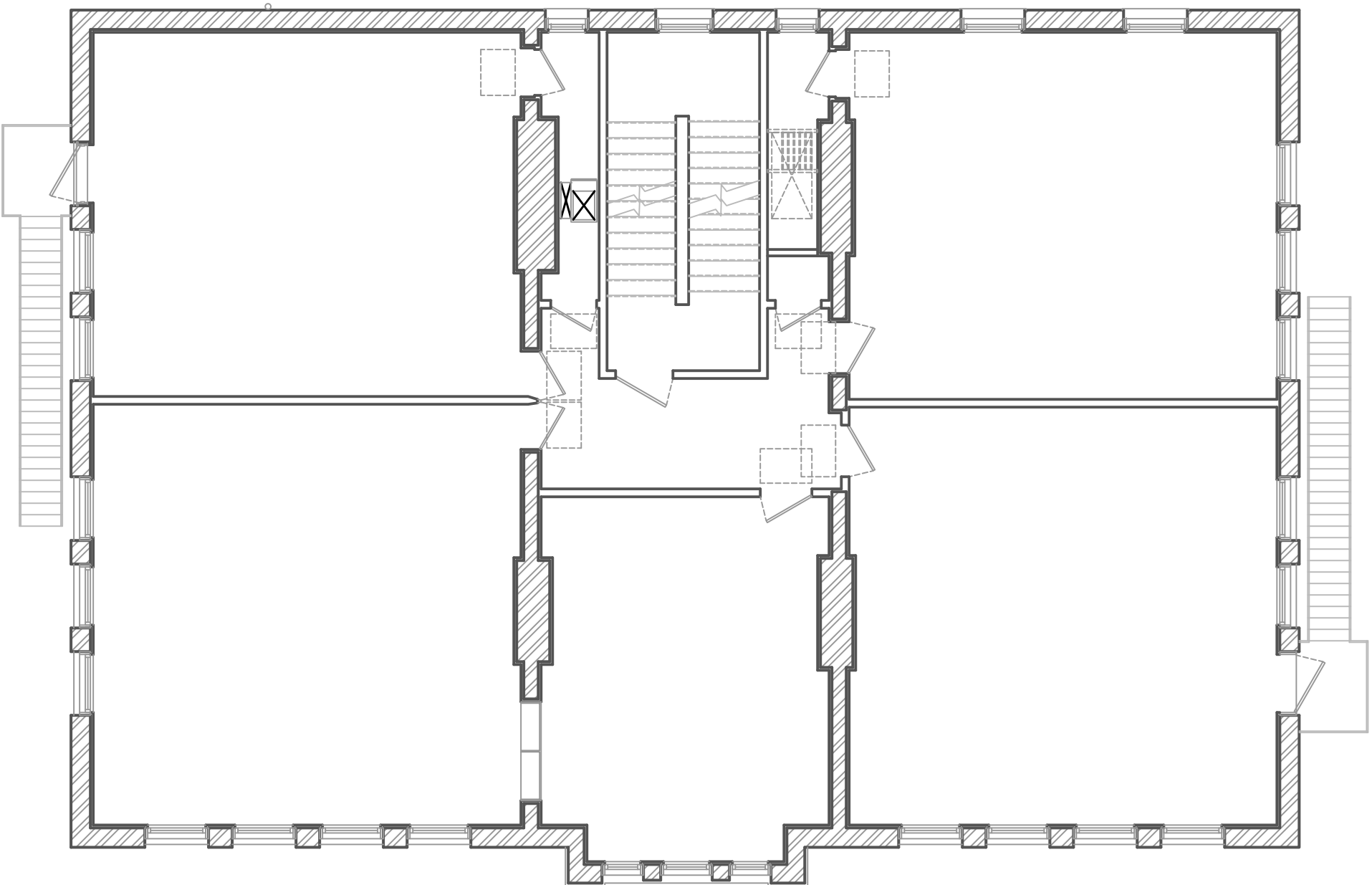
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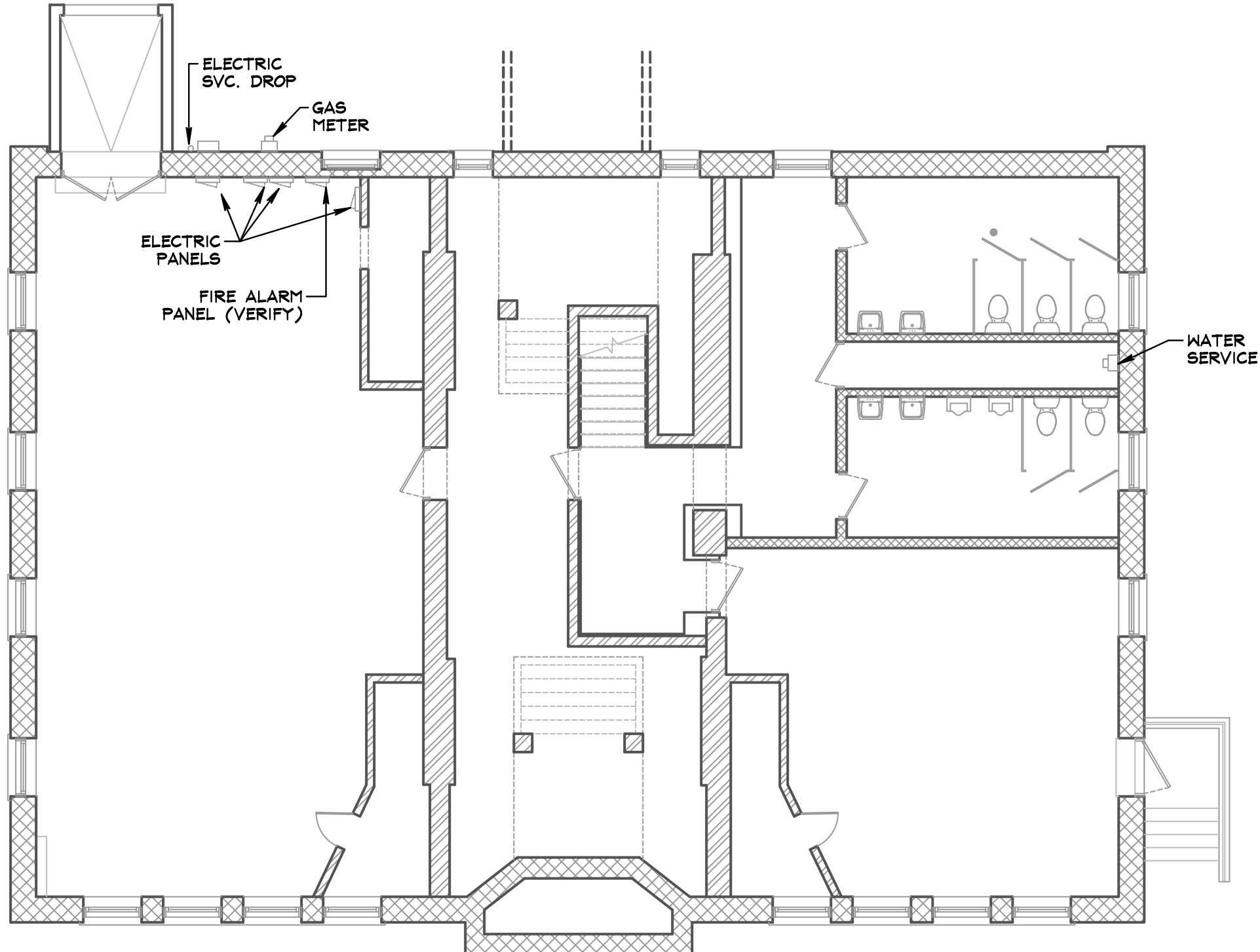
EXISTING ROOF PLAN

1/8" = 1'-0"



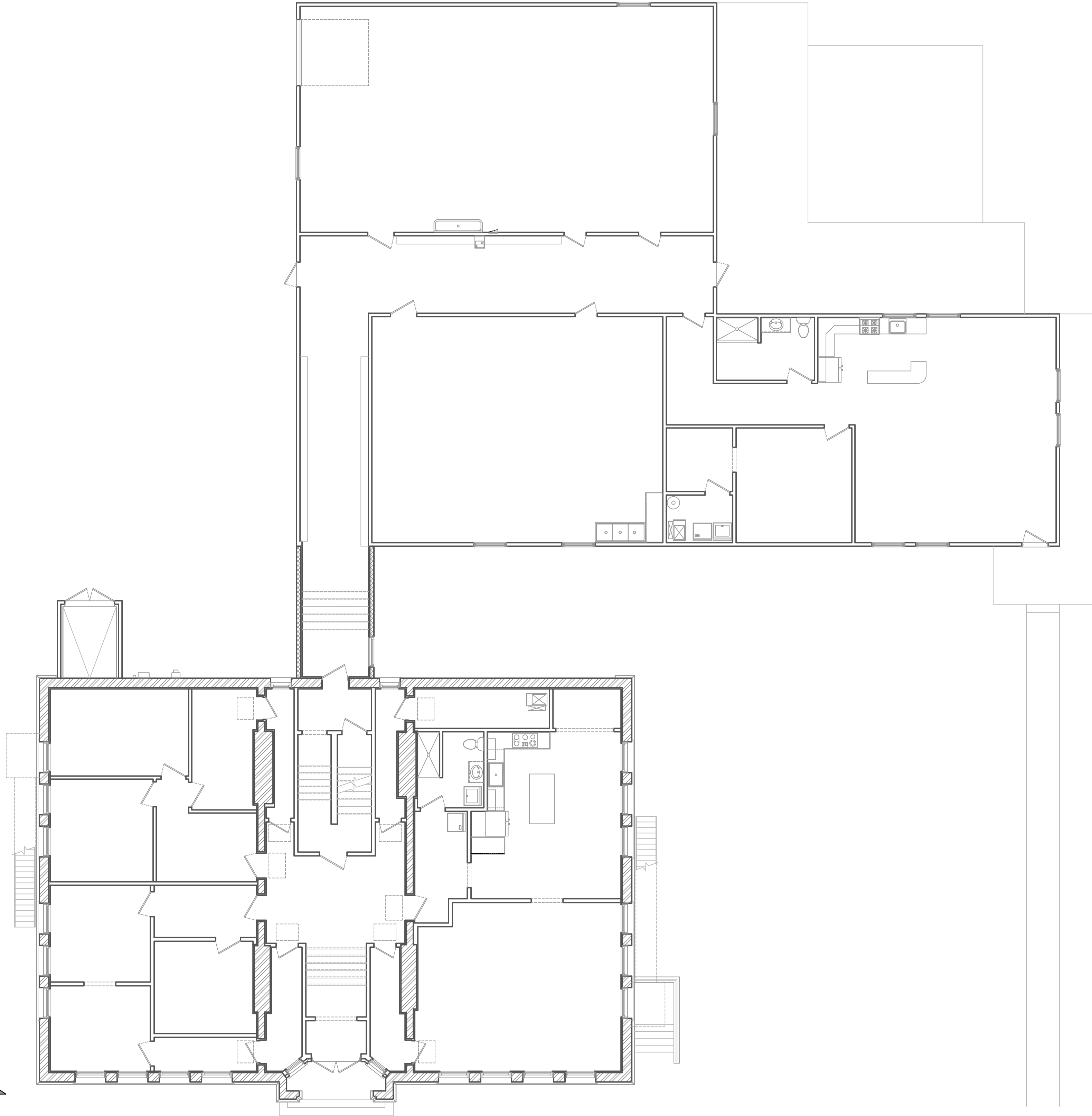
EXISTING SECOND FLOOR PLAN

1/8" = 1'-0"



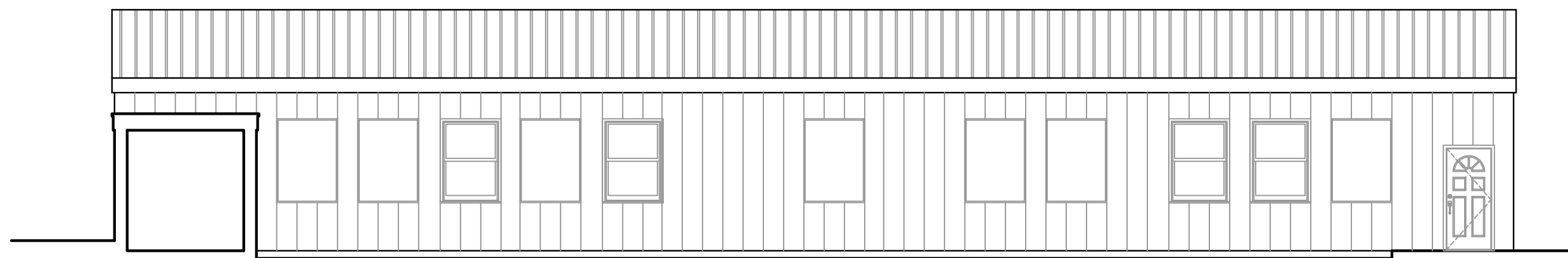
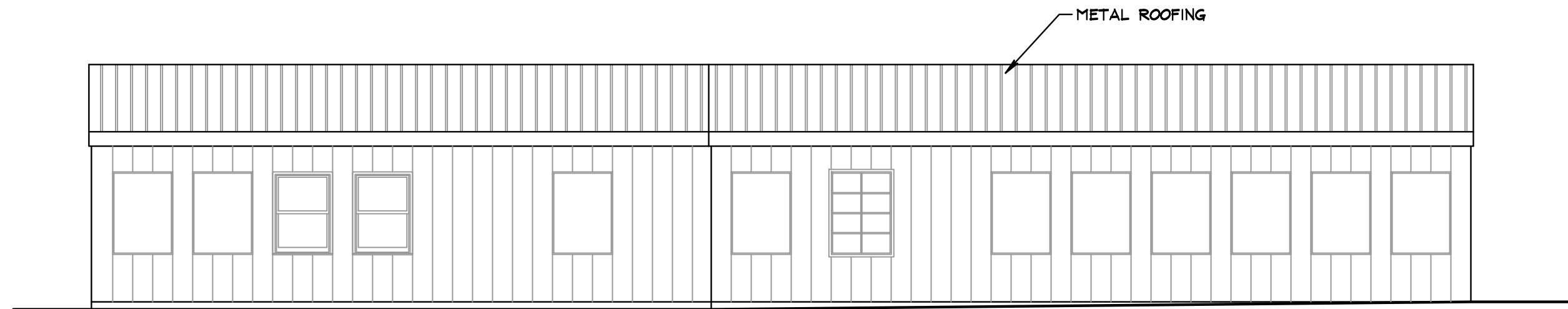
EXISTING LOWER FLOOR PLAN

1/8" = 1'-0"



EXISTING MAIN FLOOR PLAN

1/8" = 1'-0"

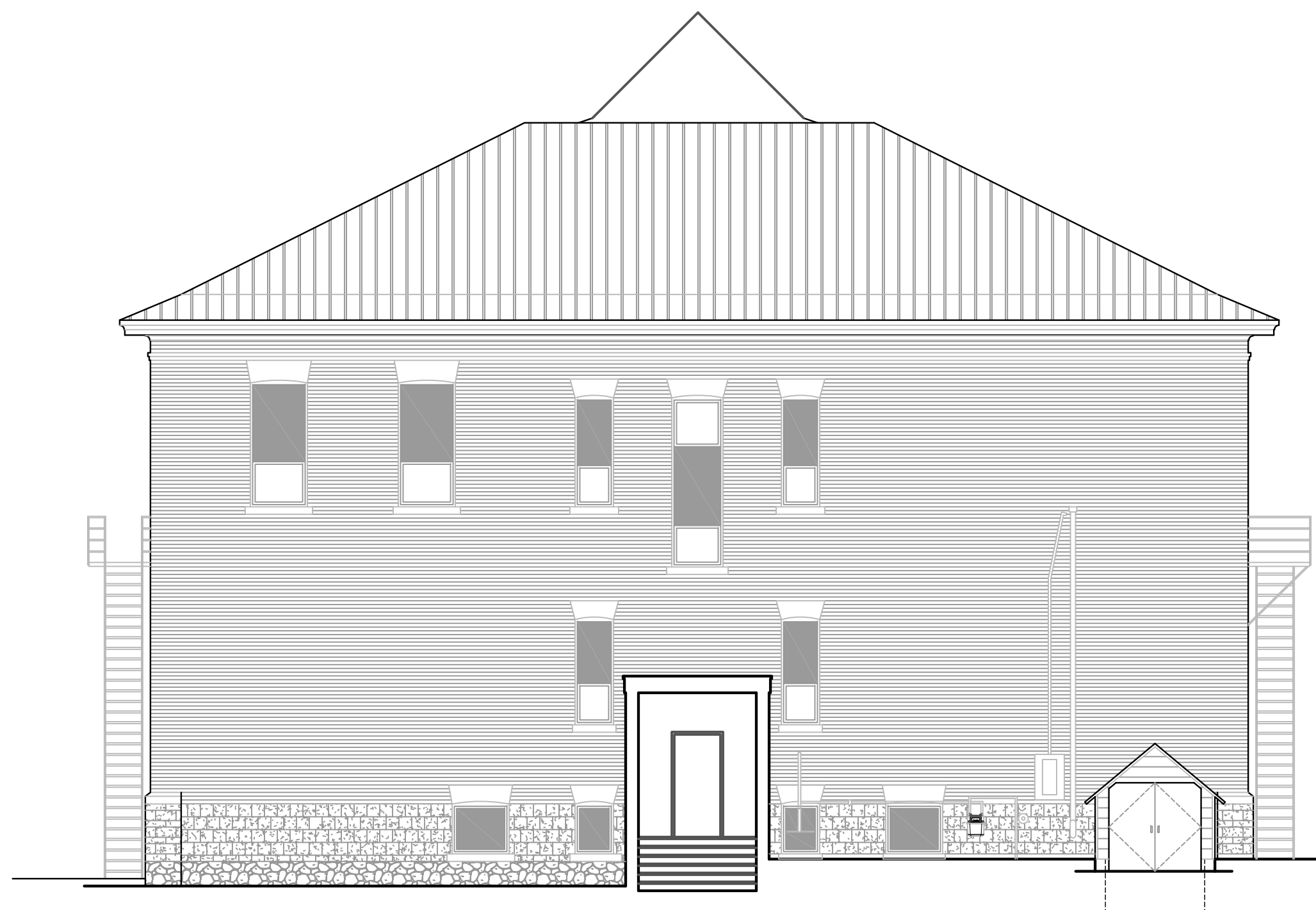


20 EXISTING NORTH ELEVATION - EXTENSION BLDG
1/8" = 1'-0"

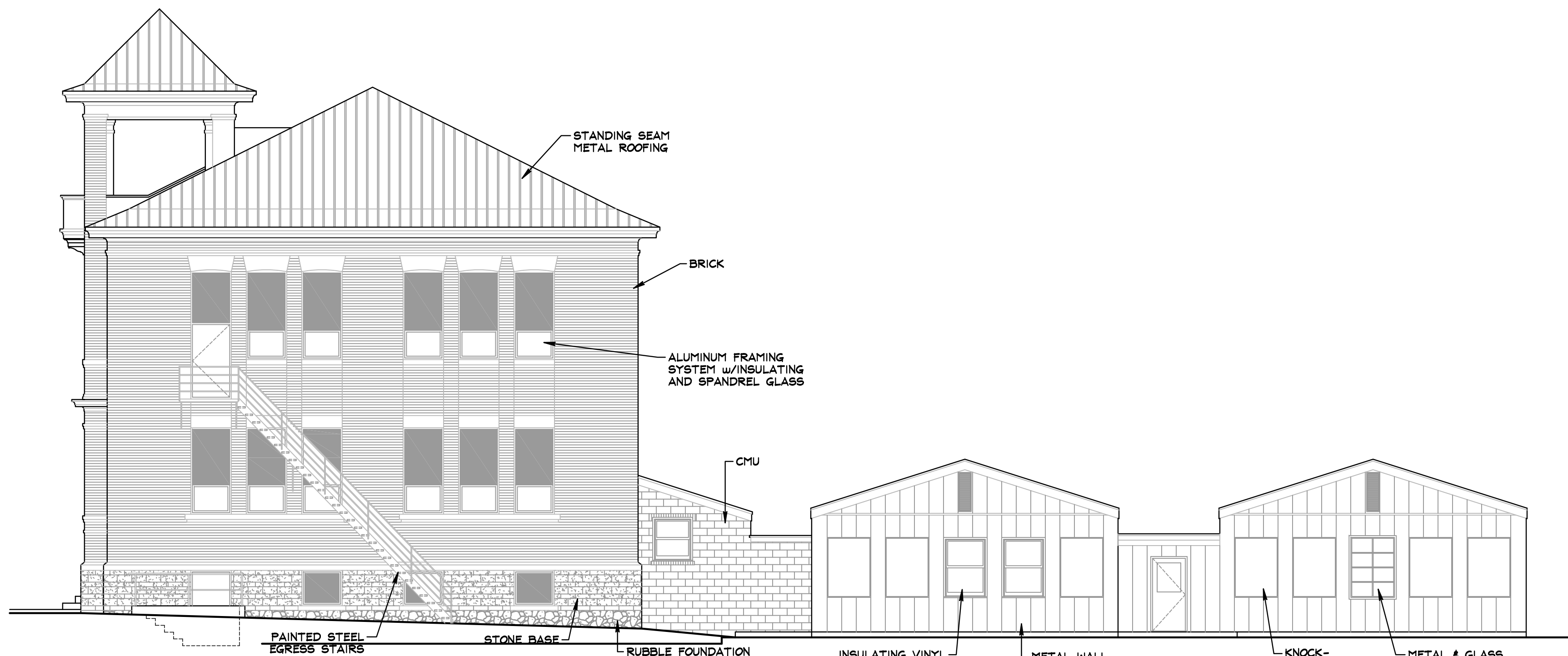
19 EXISTING SOUTH ELEVATION - EXTENSION BLDG
1/8" = 1'-0"



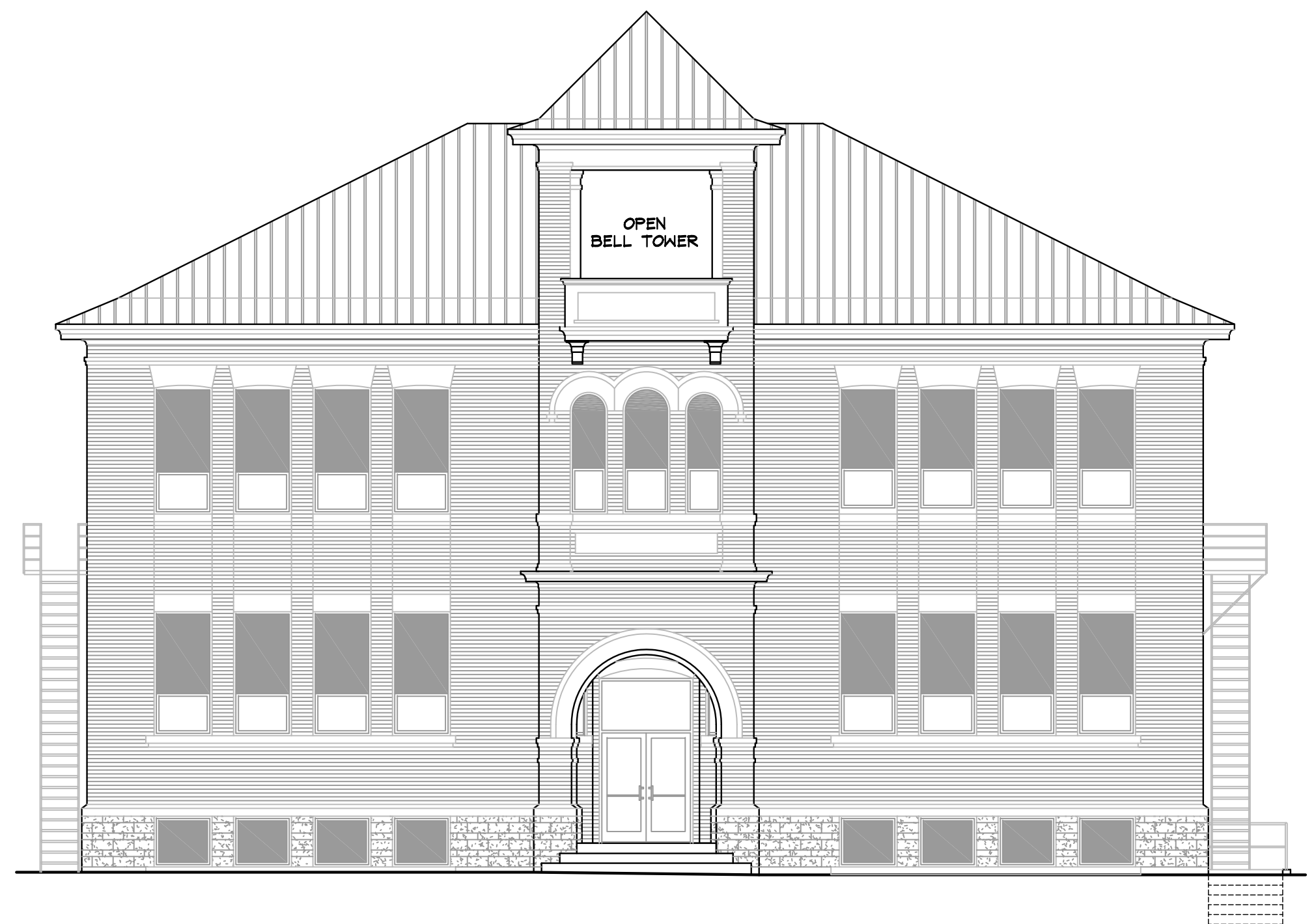
10 EXISTING WEST ELEVATION MAIN & EXTENSION BLDG'S
1/8" = 1'-0"



7 EXISTING REAR (NORTH) ELEVATION - MAIN BLDG
1/8" = 1'-0"



5 EXISTING EAST ELEVATION - MAIN & EXTENSION BLDG'S
1/8" = 1'-0"



2 EXISTING FRONT (SOUTH) ELEVATION - MAIN BLDG
1/8" = 1'-0"

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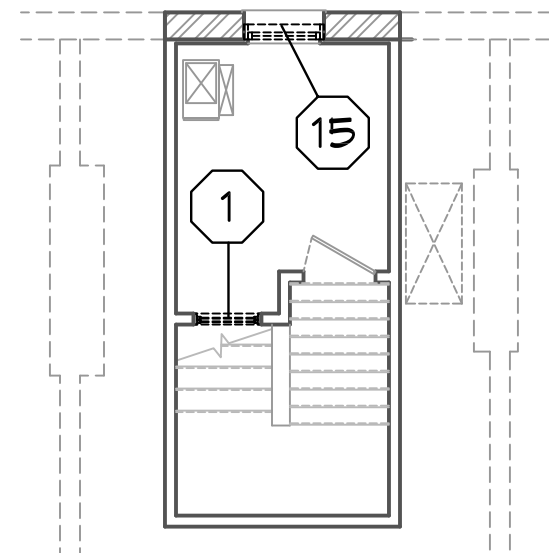
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FIRST FLOOR DEMO KEY

- 1

REMOVE WALL/PARTITION/OBJECT COMPLETE
- 2

REMOVE DROP ACT OR TILE CEILING COMPLETE
- 3

ENLARGE EXISTING OPENING IN MASONRY WALL AND INSTALL NEW HEADER AS INDICATED
- 4

REMOVE EXISTING DOOR & FRAME WITH TRANSOM
- 5

REMOVE EXISTING DOOR & FRAME
- 6

REMOVE EXISTING PLUMBING FIXTURES, EQUIPMENT AND CASEWORK
- 7

REMOVE EXISTING EXTERIOR STAIRS AND RESERVE FOR REUSE
- 8

REMOVE EXISTING RAMP AND PREP AREA FOR NEW CONCRETE STAIRS
- 9

REMOVE EXISTING METAL FRAME WINDOW AND PREP OPENING FOR NEW WINDOW
- 10

REMOVE EXISTING WINDOW AND INFILL OPENING
- 11

PROVIDE OPENING FOR NEW OPENING/WINDOW IN EXISTING PANEL SPACE
- 12

REMOVE EXISTING OVERHEAD DOOR & FRAME AND CLOSE OPENING
- 13

REMOVE EXISTING ELECTRICAL PANEL
- 14

REMOVE EXISTING CONCRETE CURB
- 15

REMOVE EXISTING ALUM/GLASS WINDOWS AND DOORS AND PREP OPENINGS FOR NEW WINDOWS/DOORS
- 16

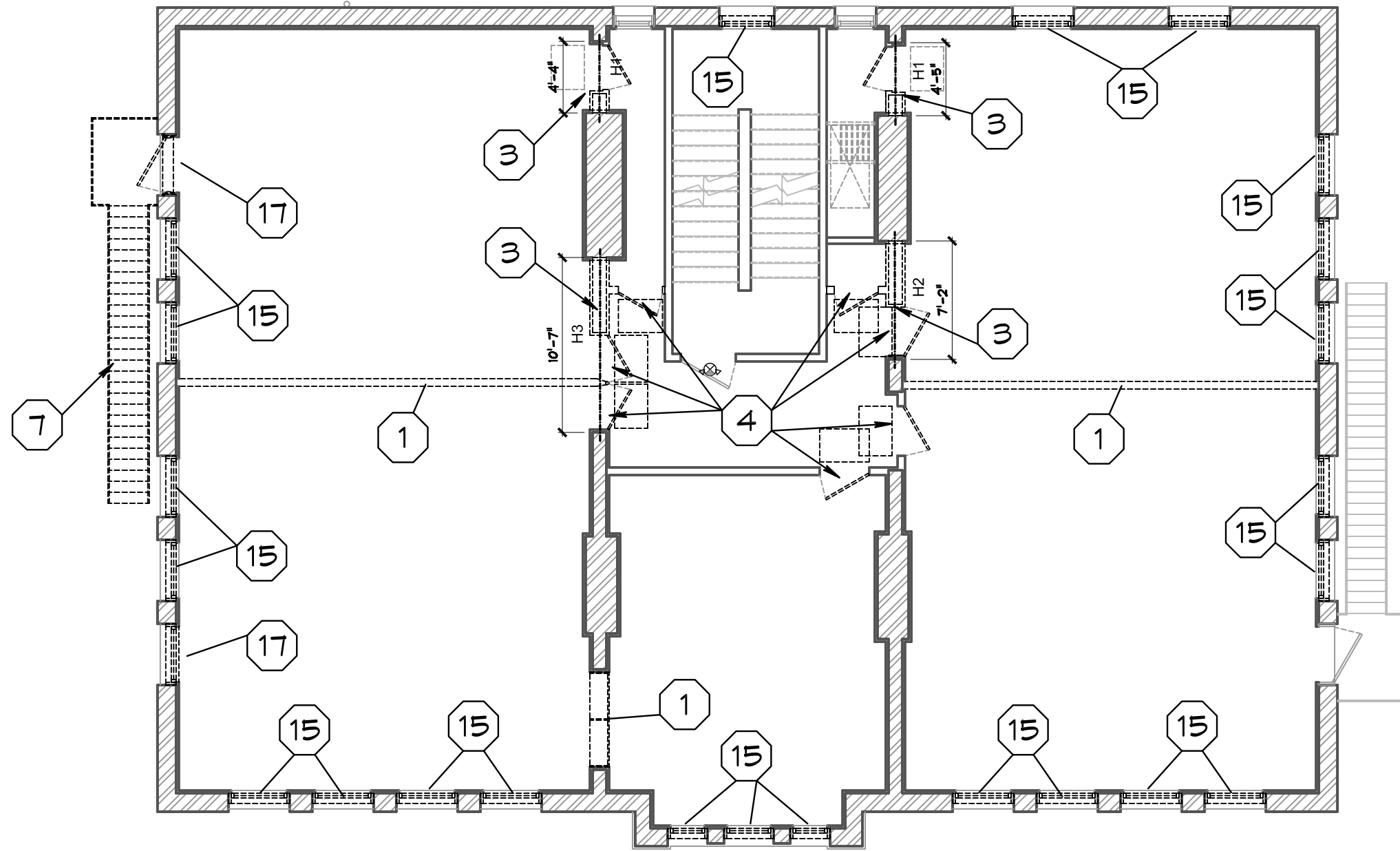
REMOVE EXISTING ELECTRICAL PANELS AND INSTALL 9 NEW METERS (8 UNITS + 1 PUBLIC)
- 17

REMOVE EXISTING WINDOW AND DOOR w/TRANSOM. ENLARGE FRONT OPENING TO ACCOMMODATE NEW DOOR FRAME WITH NEW DOOR AND RESERVE FACE BRICK FOR REUSE. REFRAME REAR OPENING AND REINSTALL BRICK AND NEW WINDOW IN REAR OPENING.

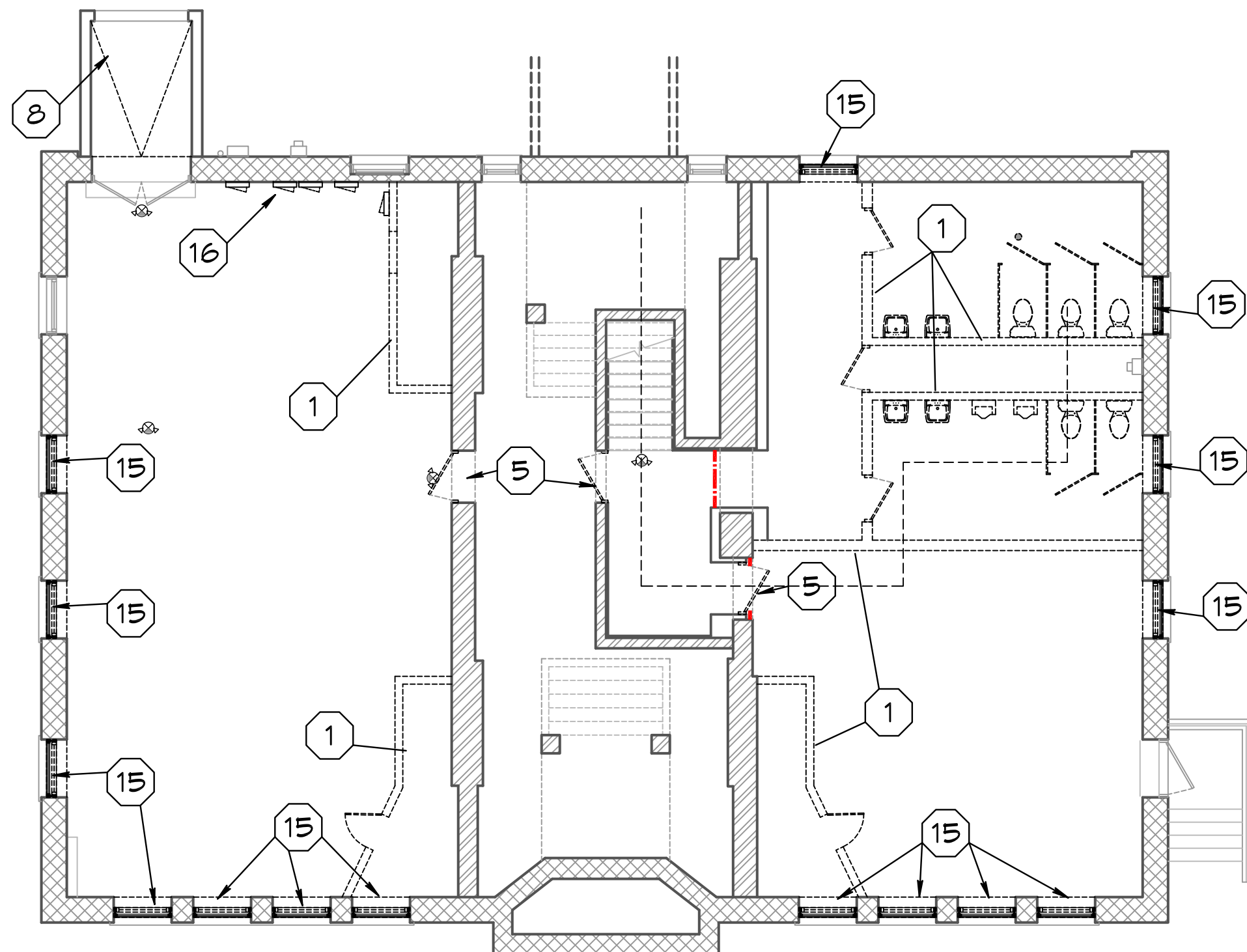
GENERAL DEMO:

1. REMOVE ALL EXISTING FLOOR FINISHES INCLUDING VCT, PARQUETTE, CARPET AND CERMIC TILE AS NEEDED TO OBTAIN A STABLE SURFACE FOR NEW WORK. FLOORING CONTRACTOR TO VERIFY REQUIREMENTS FOR EXISTING SURFACES. WHERE REQUIREMENTS CANNOT BE MET BY REMOVAL OF EXISTING FINISHES - FLOORING CONTRACTOR TO PROVIDE ALL NECESSARY PREP WORK AND MATERIALS TO OBTAIN THE REQUIRED SURFACE FOR NEW WORK. VERIFY WITH OWNER PRIOR TO EXECUTION.
2. REMOVE ALL HVAC DUCTWORK FROM ABANDONED SYSTEMS COMPLETE. INFILL ABANDONED OPENINGS IN MASONRY WALLS WITH MASONRY AND PATCH OTHER WALLS TO MATCH SURROUNDING.
3. REMOVE ALL CEILING TILES, DROPPED ACCOUSTICAL TILE CEILINGS AND LIGHT FIXTURES.

19 DEMO LOFT PLAN
1/8" = 1'-0"



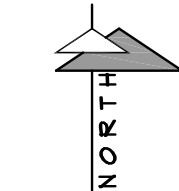
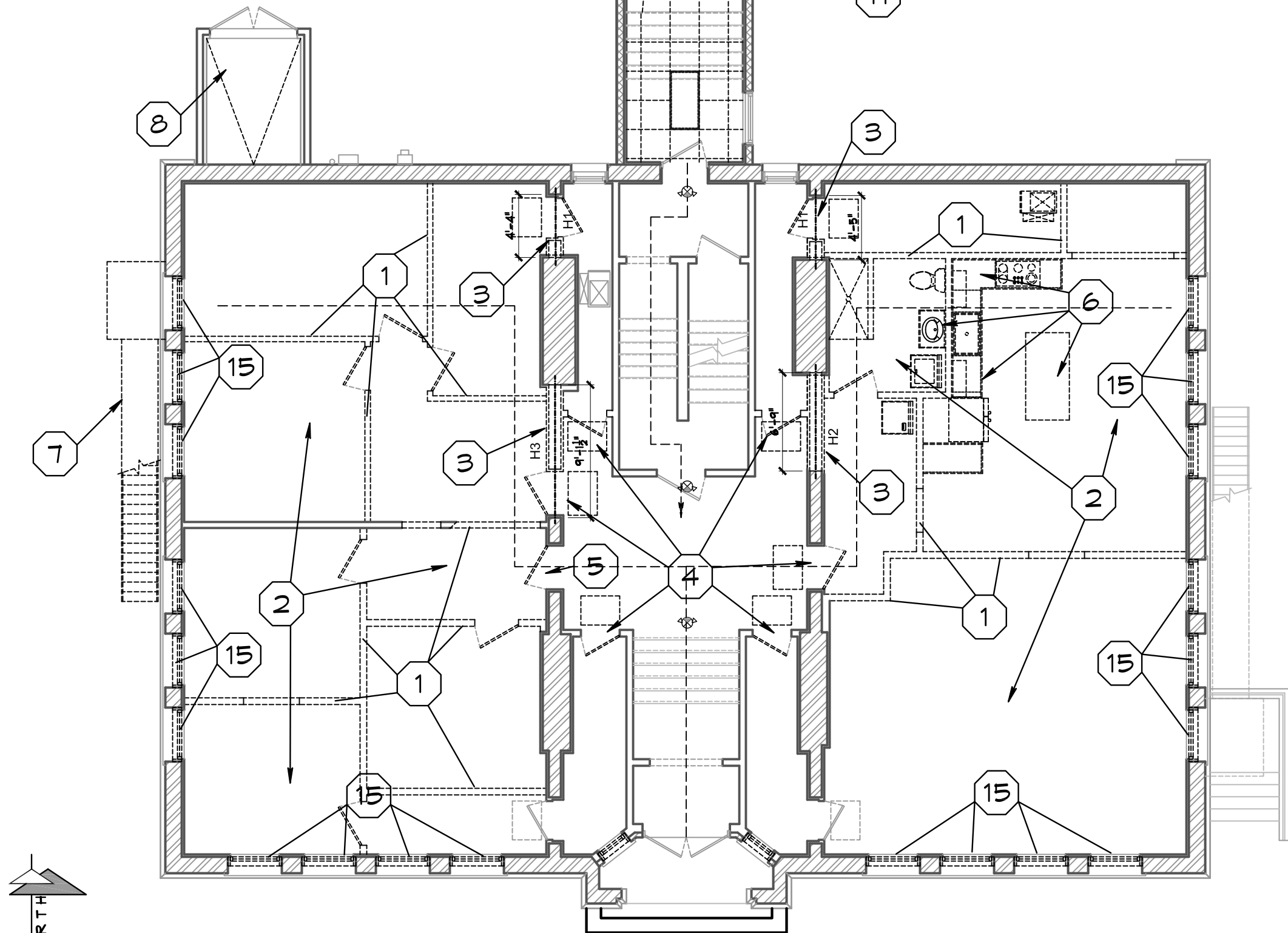
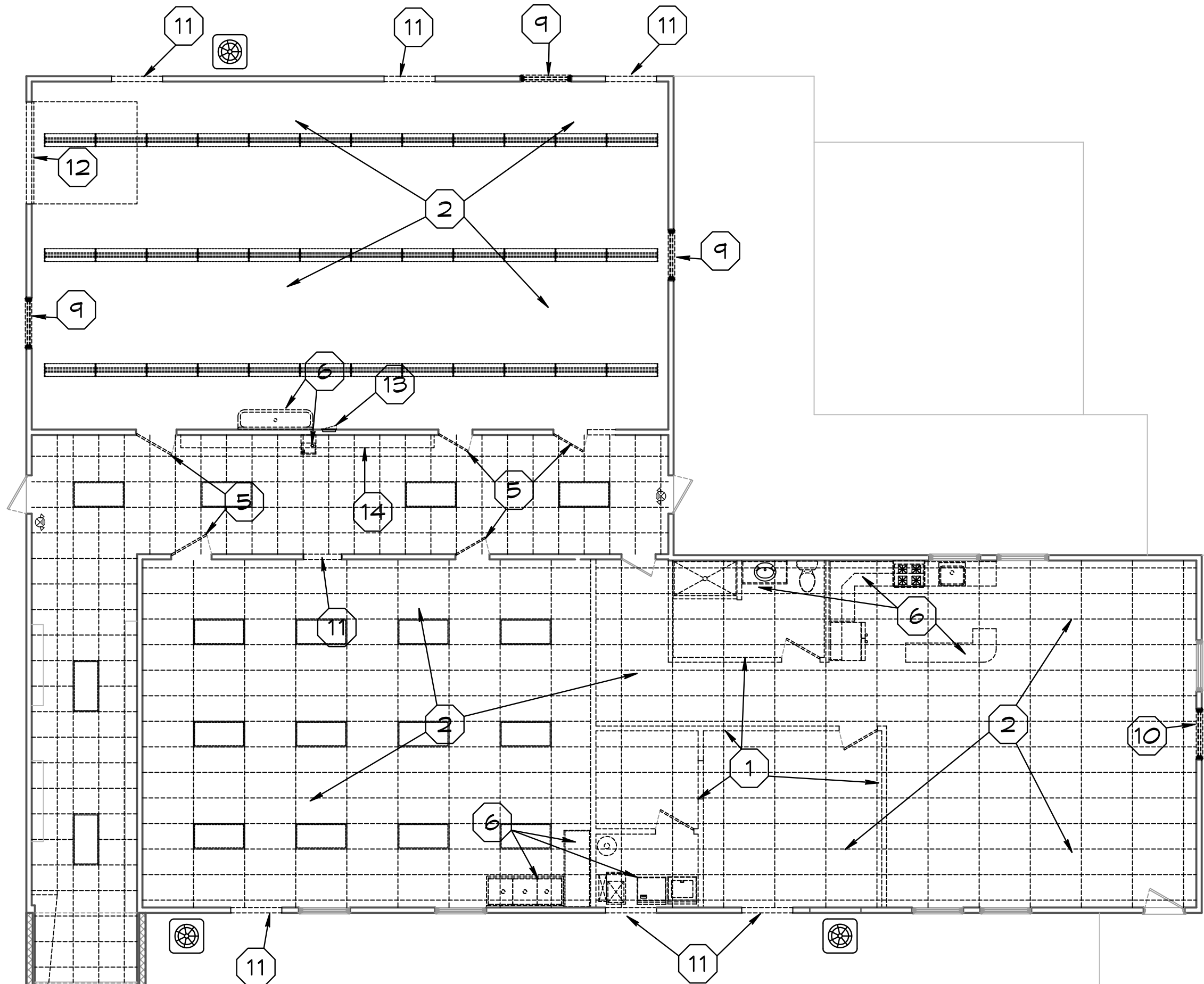
15 DEMO SECOND FLOOR PLAN
1/8" = 1'-0"



5 DEMO LOWER FLOOR PLAN
1/8" = 1'-0"

WALL TYPE - PLAN SYMBOLS

- EXISTING CMU WALL
- EXISTING BRICK MASONRY WALL
- EXISTING FRAME WALL
- EXISTING WALL/ITEM TO BE REMOVED



3 DEMO MAIN FLOOR PLAN
1/8" = 1'-0"

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DEMO PLANS

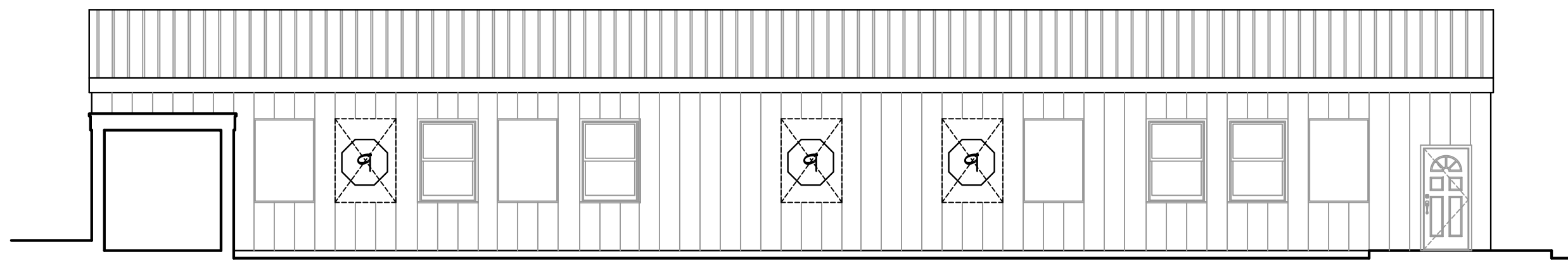
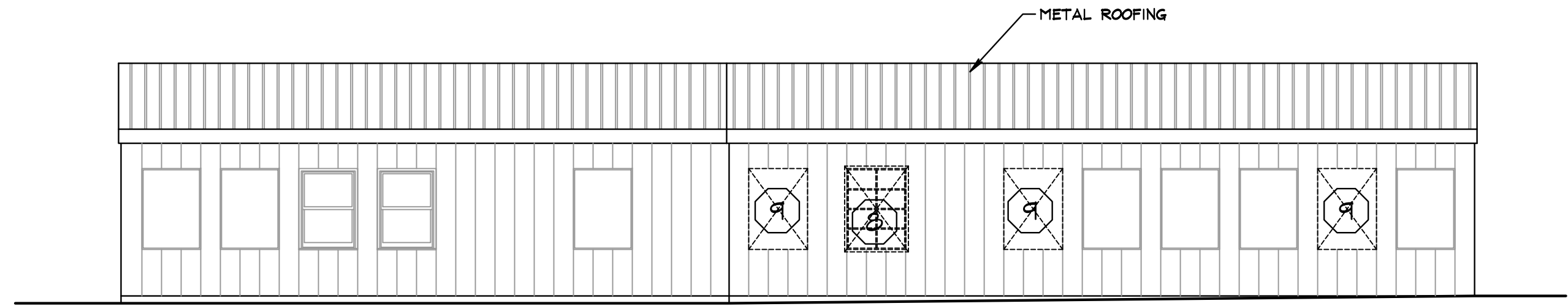
Issued For:	Date:
Prelim 1	2 Dec. 2021
Review Set	23 Jan. 2022
Construction	27 June. 2022

Drawn By:	DG
Checked By:	DG

Date:	Date:
Job Number:	16 Feb. 2021

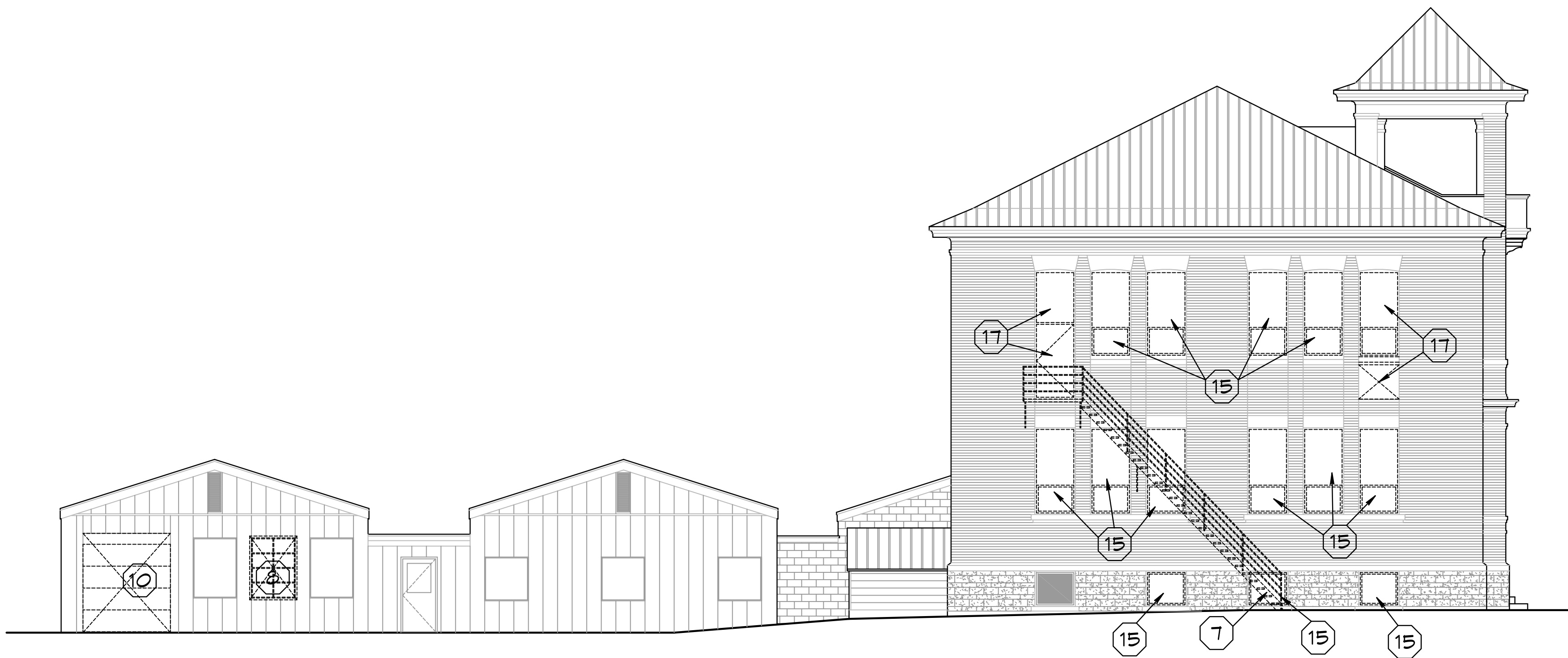
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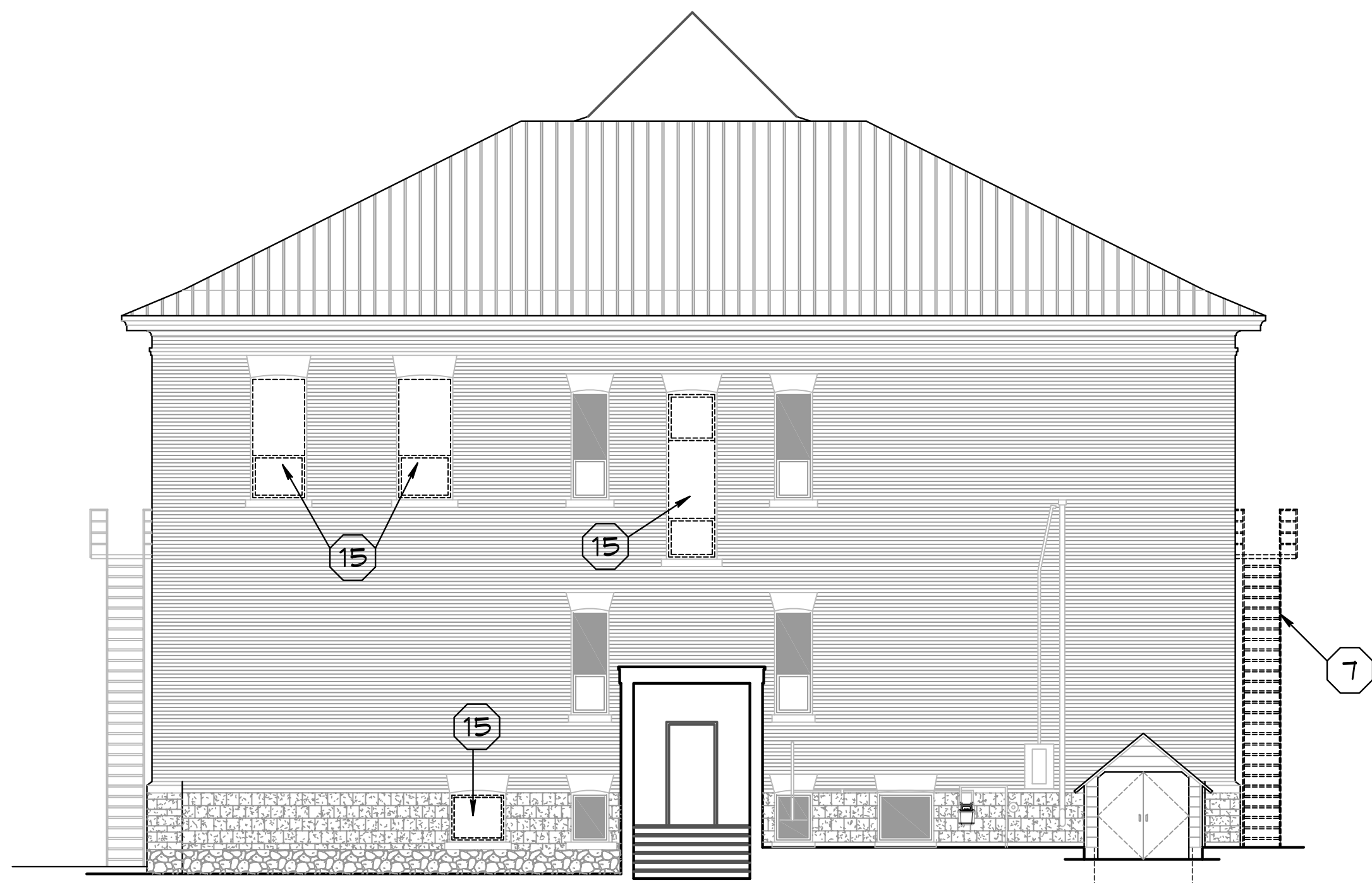


20 DEMO NORTH ELEVATION - EXTENSION BLDG
1/8" = 1'-0"

18 DEMO SOUTH ELEVATION - EXTENSION BLDG
1/8" = 1'-0"



10 DEMO WEST ELEVATION MAIN & EXTENSION BLDG'S
1/8" = 1'-0"



7 DEMO REAR (NORTH) ELEVATION - MAIN BLDG
1/8" = 1'-0"



5 DEMO EAST ELEVATION - MAIN & EXTENSION BLDG'S
1/8" = 1'-0"



2 DEMO FRONT (SOUTH) ELEVATION - MAIN BLDG
1/8" = 1'-0"

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DG

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D 1.1

GENERAL NOTES:

ALL EXISTING WINDOWS TO BE REPLACED WITH NEW ANDERSON VINYL SINGLE HUNG AND FIXED WINDOWS PER ELEVATION IN WHITE.

WALL TYPE - PLAN SYMBOLS

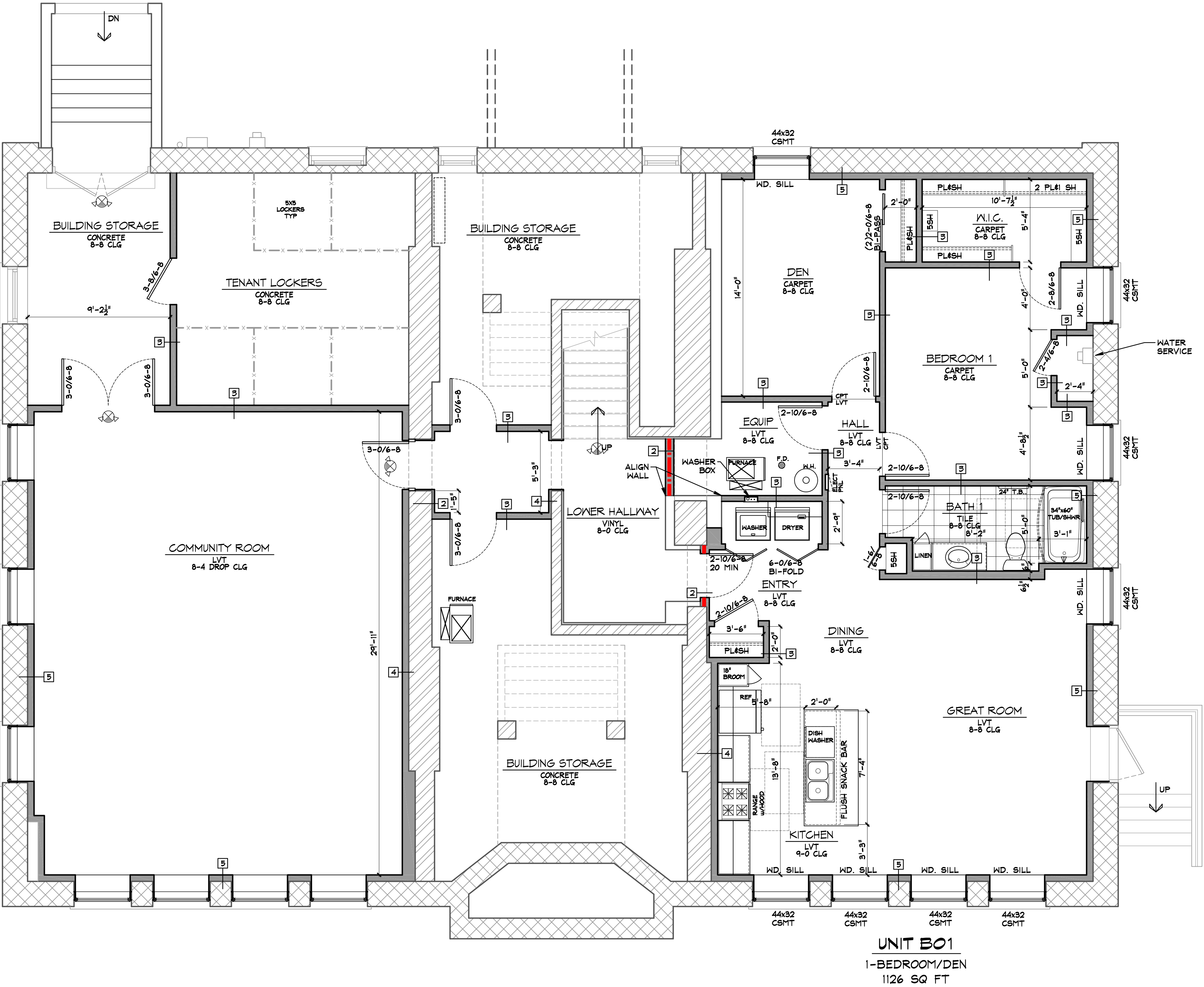
- ONE HOUR WALL
- TWO HOUR WALL
- UNIT SEPARATION WALL
- NEW PARTITION
- EXISTING CMU WALL
- EXISTING MASONRY WALL
- EXISTING FRAME WALL

NOTES:
1. ALL NEW INTERIOR WALLS 4 1/2" U.N.O.
2. FIELD VERIFY ALL DIMENSION, HEIGHTS AND CONDITIONS PRIOR TO EXECUTING WORK

4

PROPOSED LOWER FLOOR PLAN

1/4" = 1'-0"



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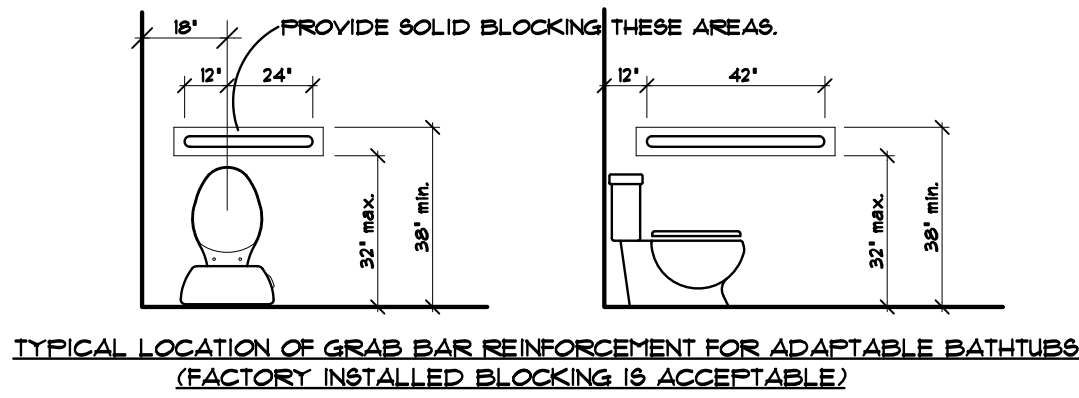
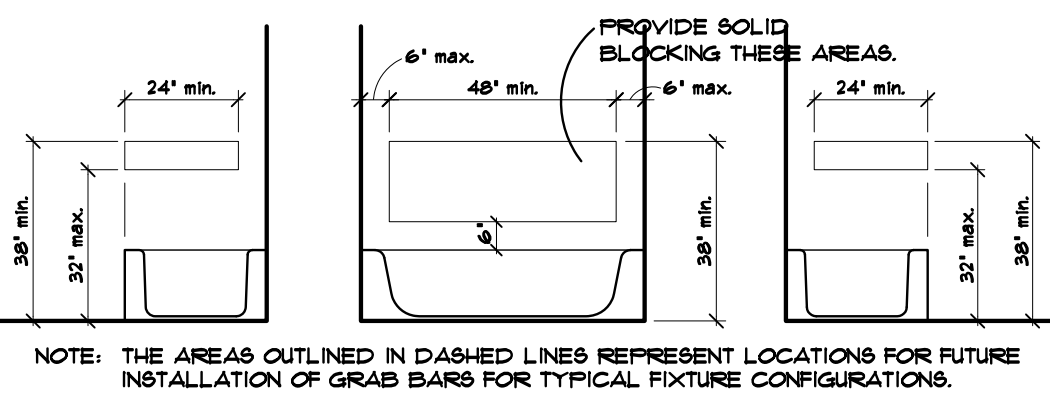
Job Number: 16 Feb, 2021

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GENERAL NOTES:

ALL EXISTING WINDOWS TO BE REPLACED WITH NEW ANDERSON VINYL SINGLE HUNG AND FIXED WINDOWS PER ELEVATION IN WHITE.



SOLID BLOCKING REQUIREMENTS
FIRST FLOOR UNITS ONLY

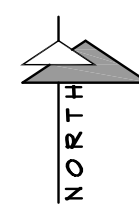
OPERABLE PARTS:

REQUIRED AT ALL FIRST FLOOR TYPE B UNITS.
LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL BE A MAXIMUM OF 48" A.F.F. HAVE CLEAR FLOOR SPACE, REACH RANGE AND BE OPERABLE WITH ONE HAND.

WALL TYPE - PLAN SYMBOLS

- ONE HOUR WALL
- TWO HOUR WALL
- UNIT SEPARATION WALL
- NEW PARTITION
- EXISTING CMU WALL
- EXISTING MASONRY WALL
- EXISTING FRAME WALL

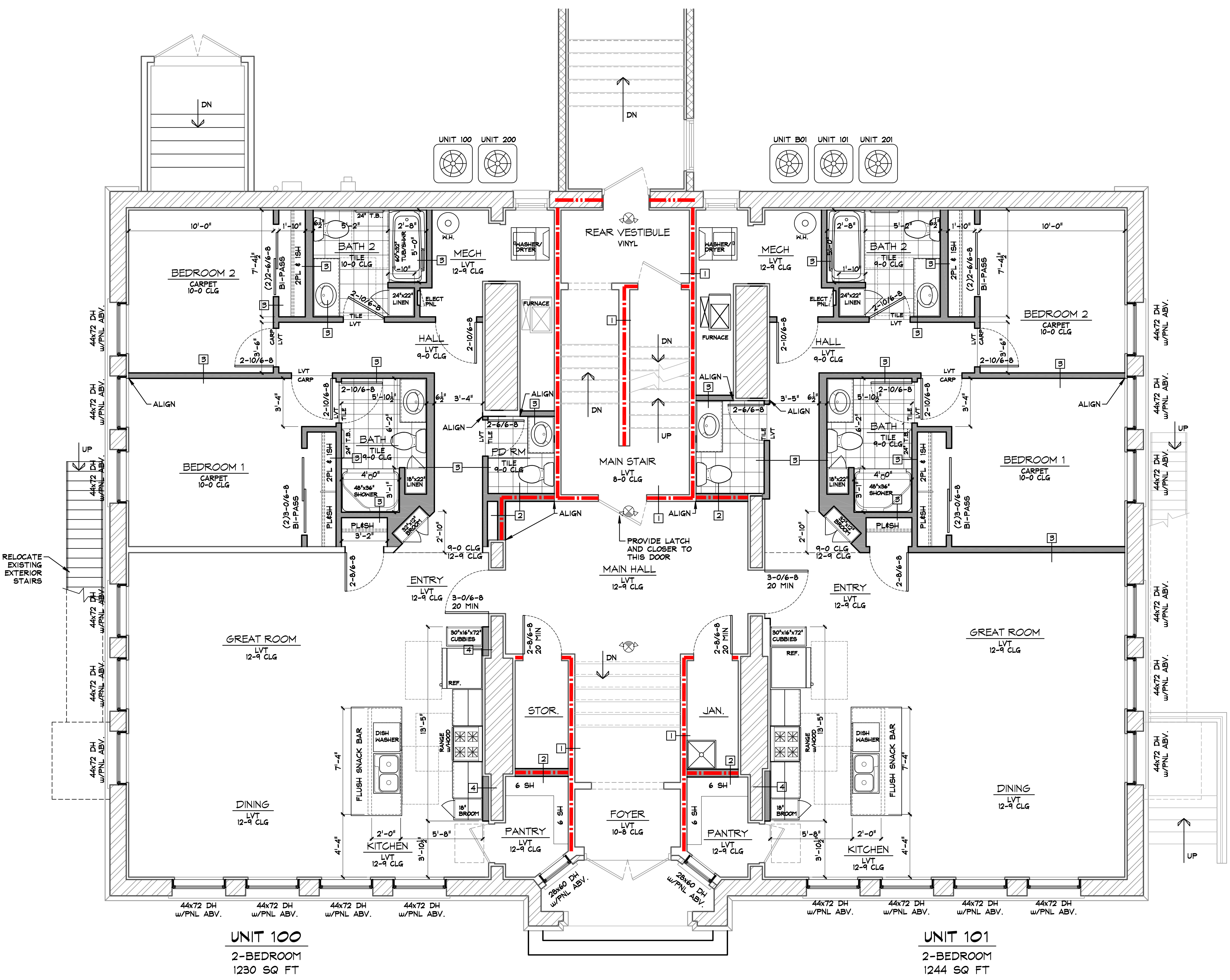
NOTES:
1. ALL NEW INTERIOR WALLS 4 1/2" U.O.
2. FIELD VERIFY AL DIMENSION, HEIGHTS AND CONDITIONS PRIOR TO EXECUTING WORK



4

PROPOSED FIRST FLOOR PARTIAL PLAN

1/4" = 1'-0"



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PROPOSED FLOOR PLANS

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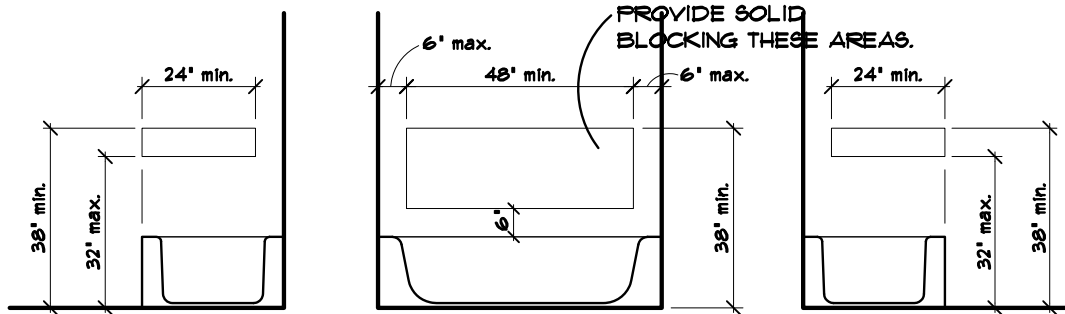
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Checked By: DG

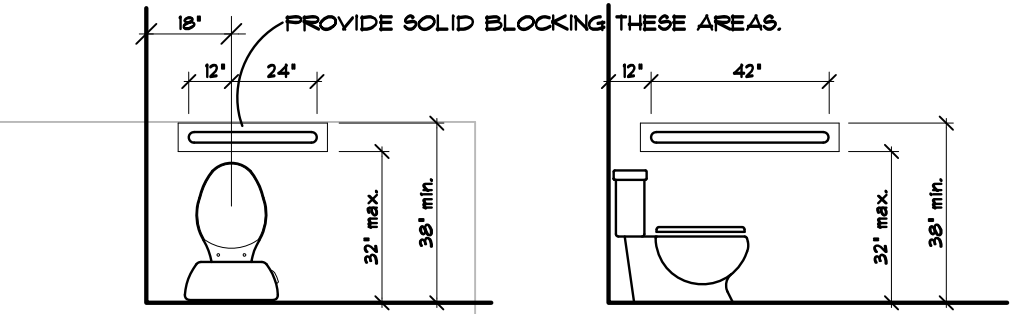
Date: 16 Feb, 2021

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NOTE: THE AREAS OUTLINED IN DASHED LINES REPRESENT LOCATIONS FOR FUTURE INSTALLATION OF GRAB BARS FOR TYPICAL FIXTURE CONFIGURATIONS.

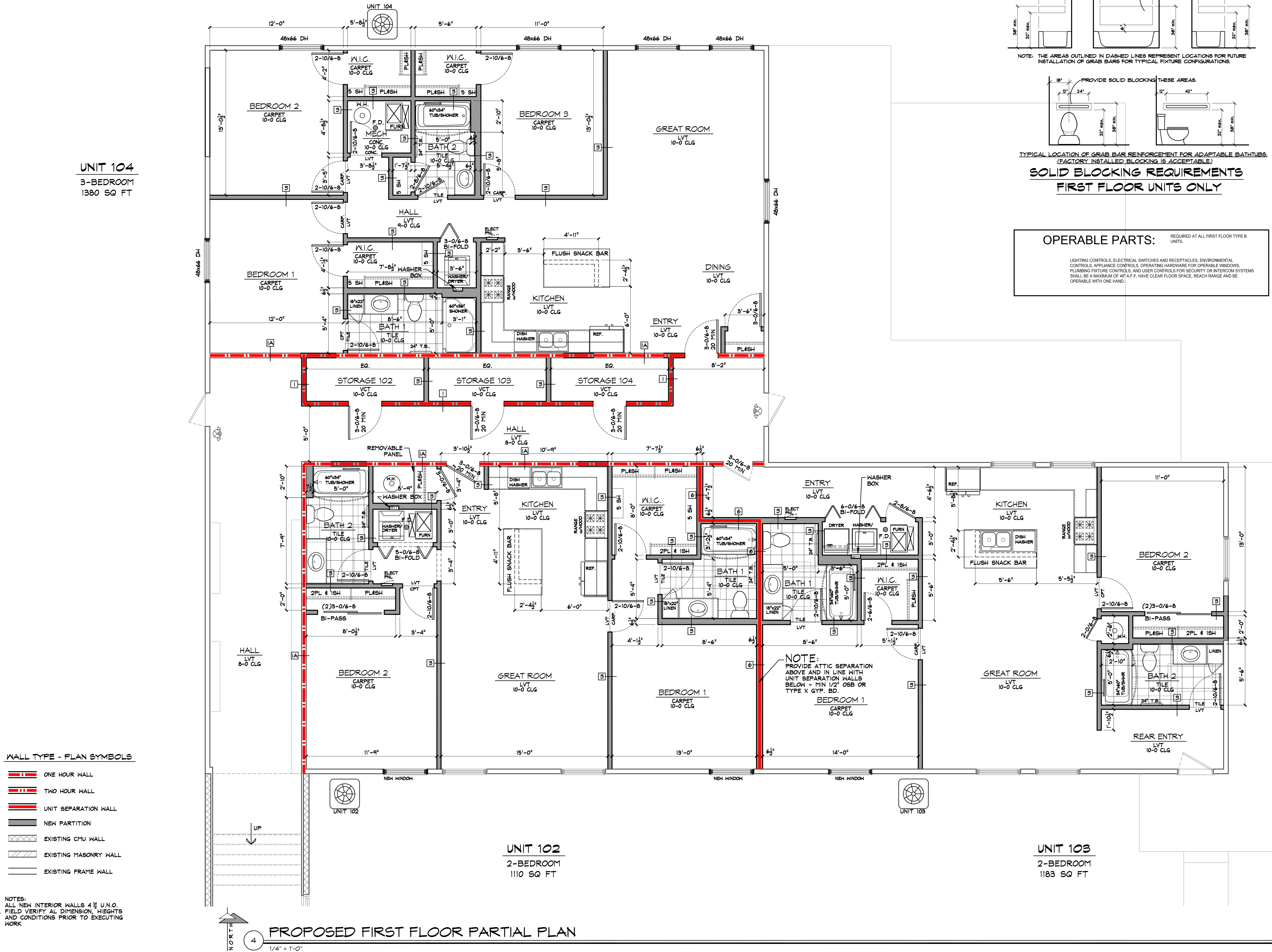


TYPICAL LOCATION OF GRAB BAR REINFORCEMENT FOR ADAPTABLE BATHTUBS (FACTORY INSTALLED BLOCKING IS ACCEPTABLE)

SOLID BLOCKING REQUIREMENTS
FIRST FLOOR UNITS ONLY

OPERABLE PARTS:

REQUIRED AT ALL FIRST FLOOR TYPE B UNITS.
LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL BE A MAXIMUM OF 48" A.F.F. HAVE CLEAR FLOOR SPACE, REACH RANGE AND BE OPERABLE WITH ONE HAND.



WALL TYPE - PLAN SYMBOLS

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- TWO HOUR WALL
- UNIT SEPARATION WALL
- NEW PARTITION
- EXISTING CMU WALL
- EXISTING MASONRY WALL
- EXISTING FRAME WALL

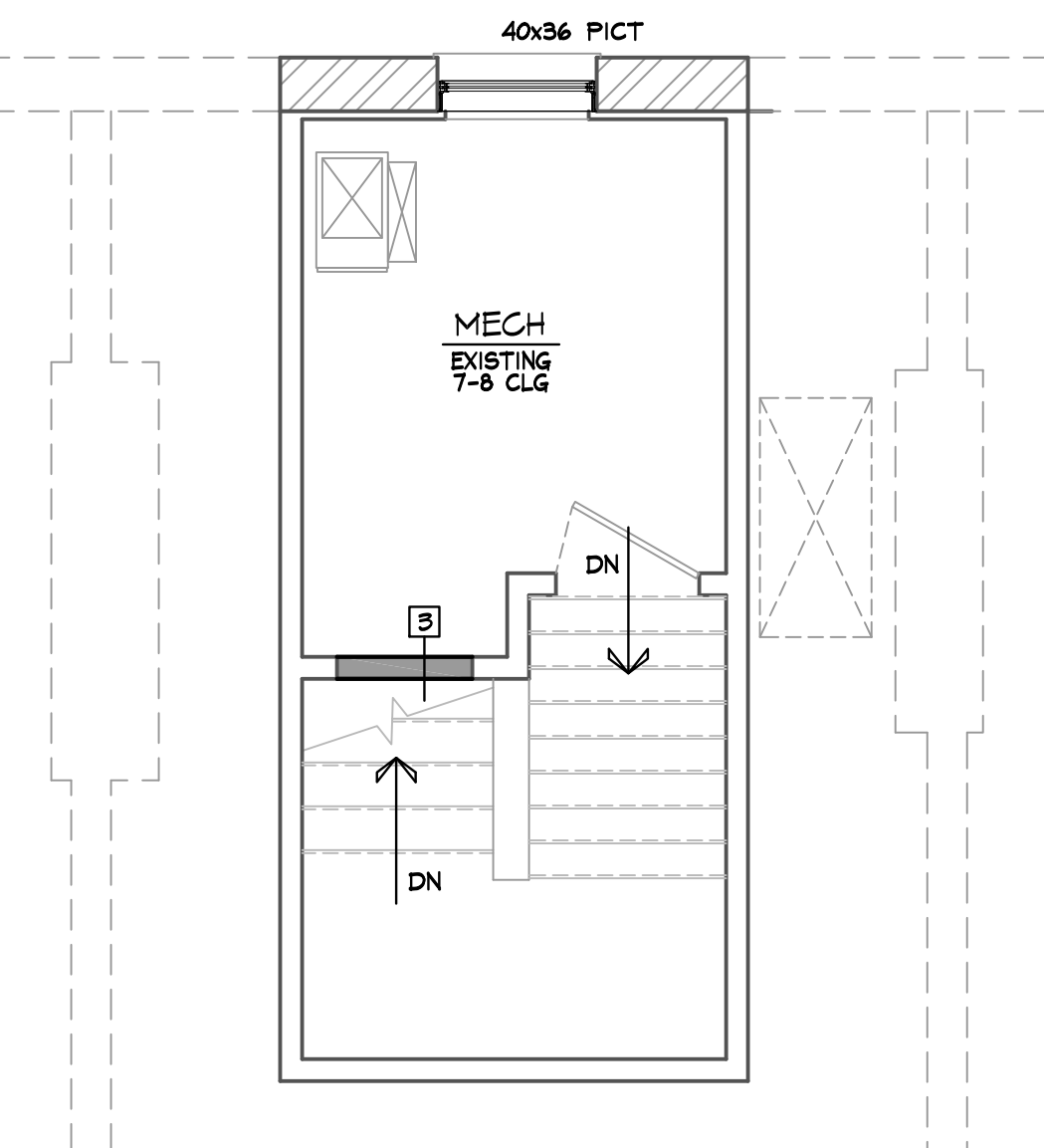
NOTES:
1. ALL NEW INTERIOR WALLS 4 1/2" U.N.O.
2. FIELD VERIFY ALL DIMENSION, HEIGHTS AND CONDITIONS PRIOR TO EXECUTING WORK

PROPOSED FIRST FLOOR PARTIAL PLAN

1/4" = 1'-0"

GENERAL NOTES:

ALL EXISTING WINDOWS TO BE REPLACED WITH NEW ANDERSON VINYL SINGLE HUNG AND FIXED WINDOWS PER ELEVATION IN WHITE.

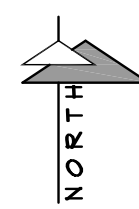


LOFT LEVEL
1/4" = 1'-0"

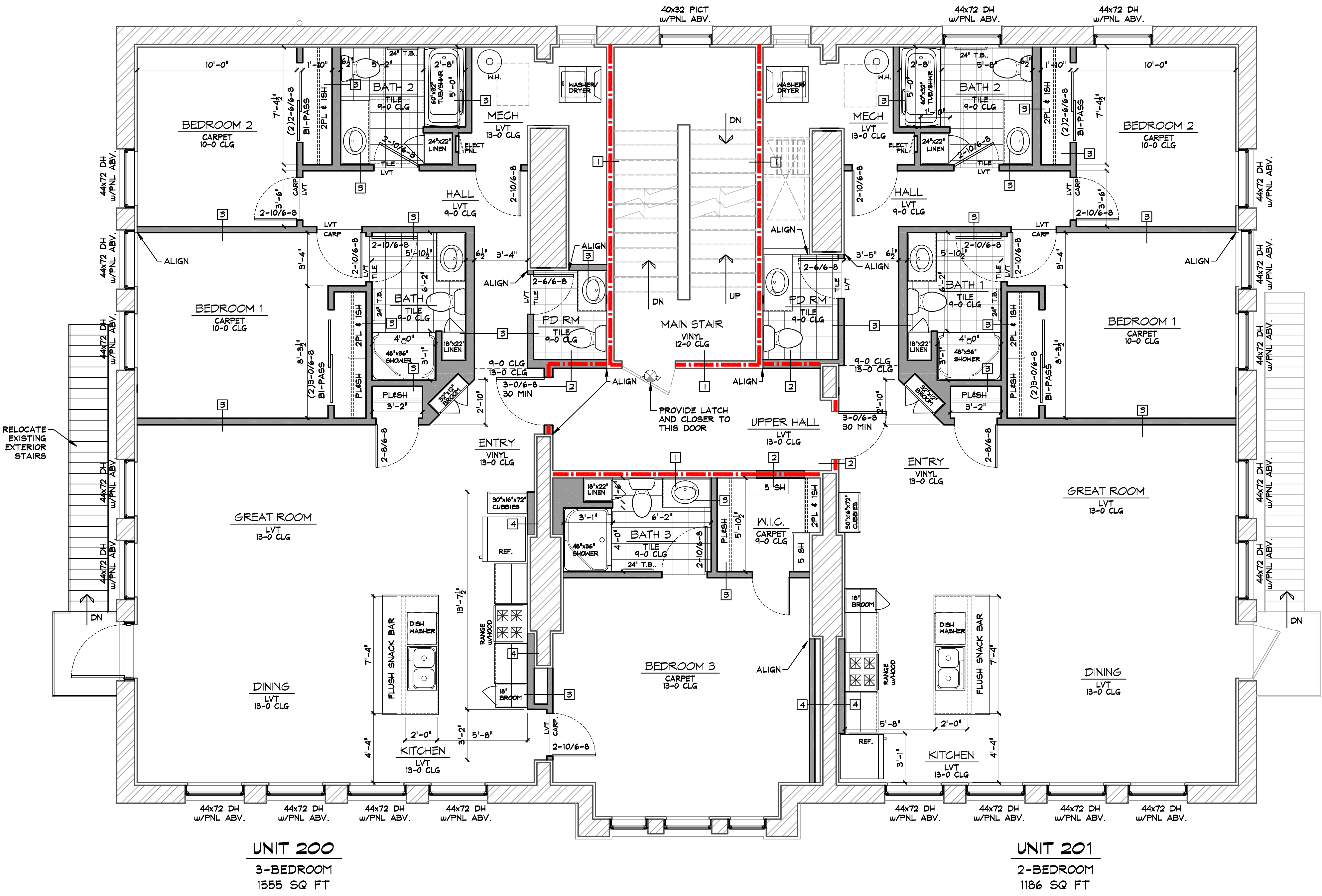
WALL TYPE - PLAN SYMBOLS

- NEW PARTITION
- EXISTING CMU WALL
- EXISTING MASONRY WALL
- EXISTING FRAME WALL

NOTES:
1. ALL NEW INTERIOR WALLS 4 1/2" U.O.
2. FIELD VERIFY ALL DIMENSION, HEIGHTS AND CONDITIONS PRIOR TO EXECUTING WORK



PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



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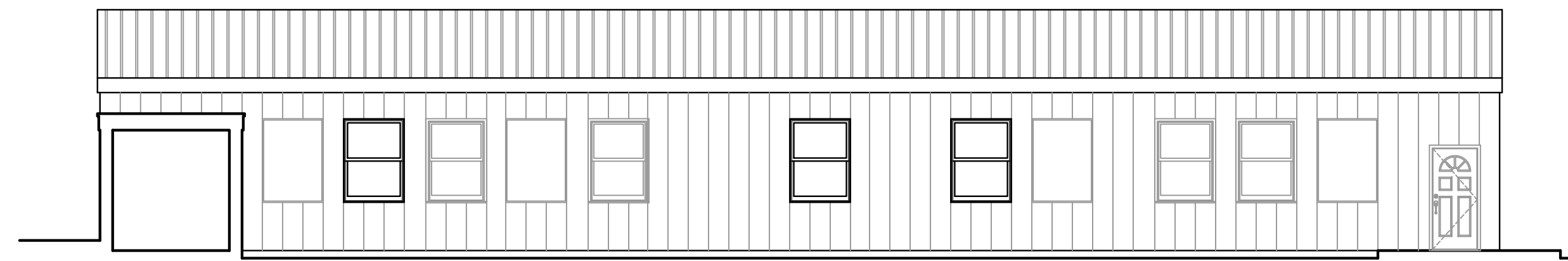
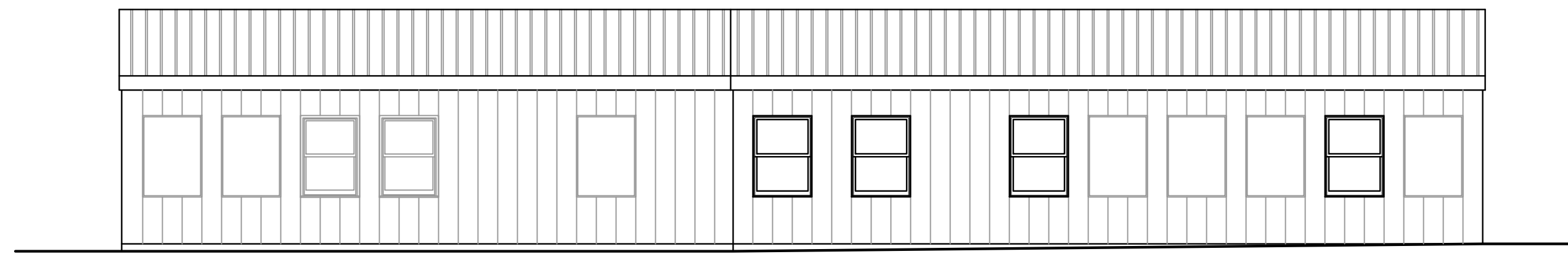
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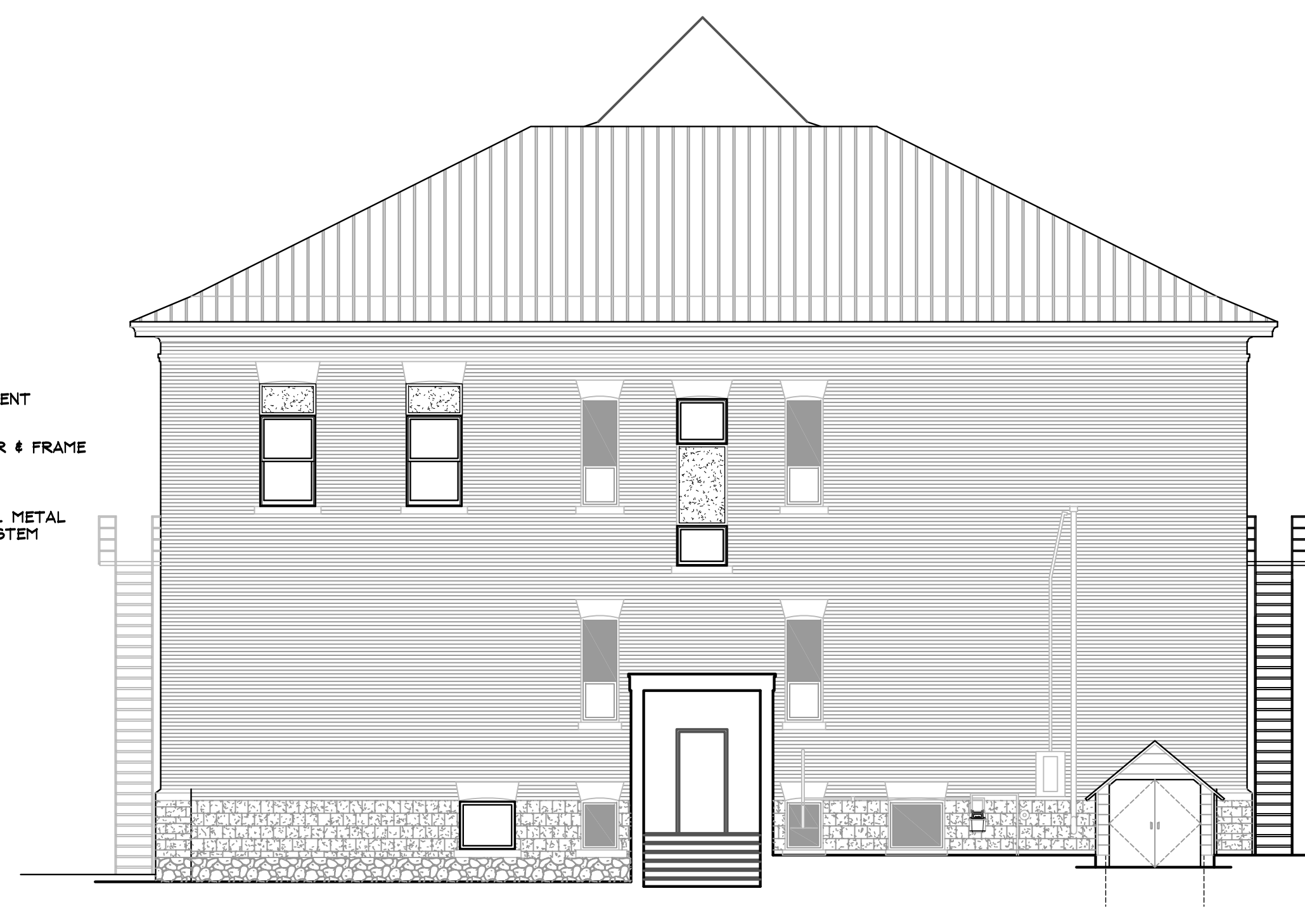
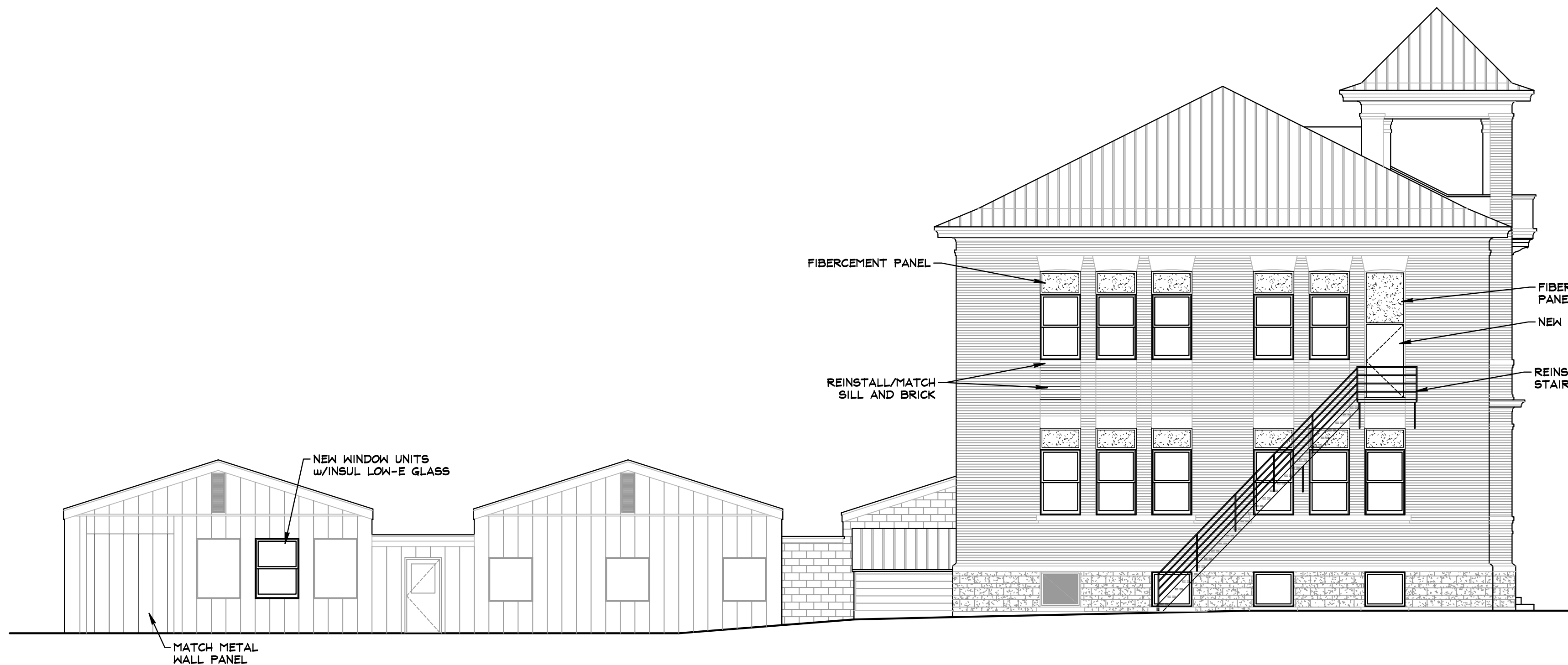
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20 PROPOSED NORTH ELEVATION - EXTENSION BLDG
1/8" = 1'-0"

18 PROPOSED SOUTH ELEVATION - EXTENSION BLDG
1/8" = 1'-0"



10 PROPOSED WEST ELEVATION MAIN & EXTENSION BLDG'S
1/8" = 1'-0"

7 PROPOSED REAR (NORTH) ELEVATION - MAIN BLDG
1/8" = 1'-0"



5 PROPOSED EAST ELEVATION - MAIN & EXTENSION BLDG'S
1/8" = 1'-0"



2 PROPOSED FRONT (SOUTH) ELEVATION - MAIN BLDG
1/8" = 1'-0"

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PROPOSED ELEVATIONS

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DG

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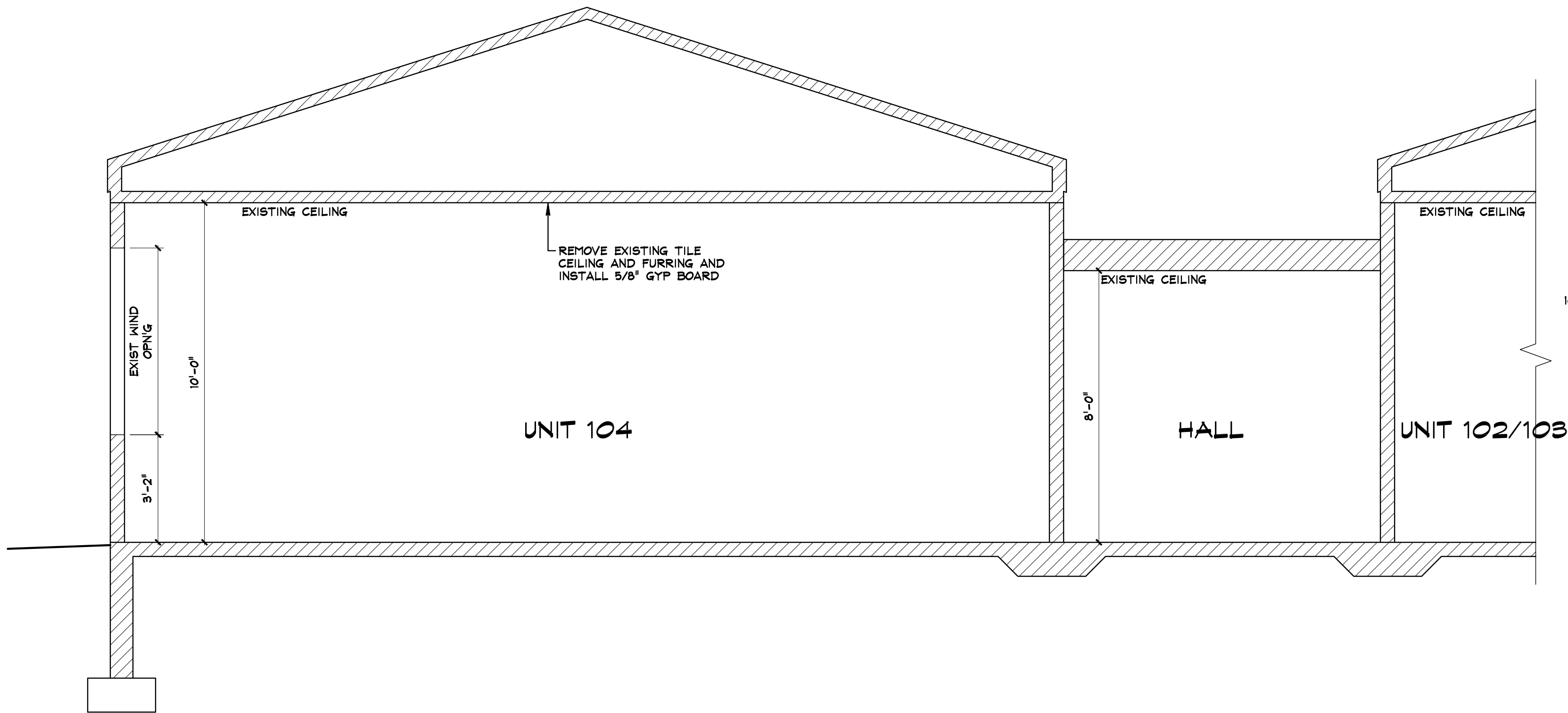
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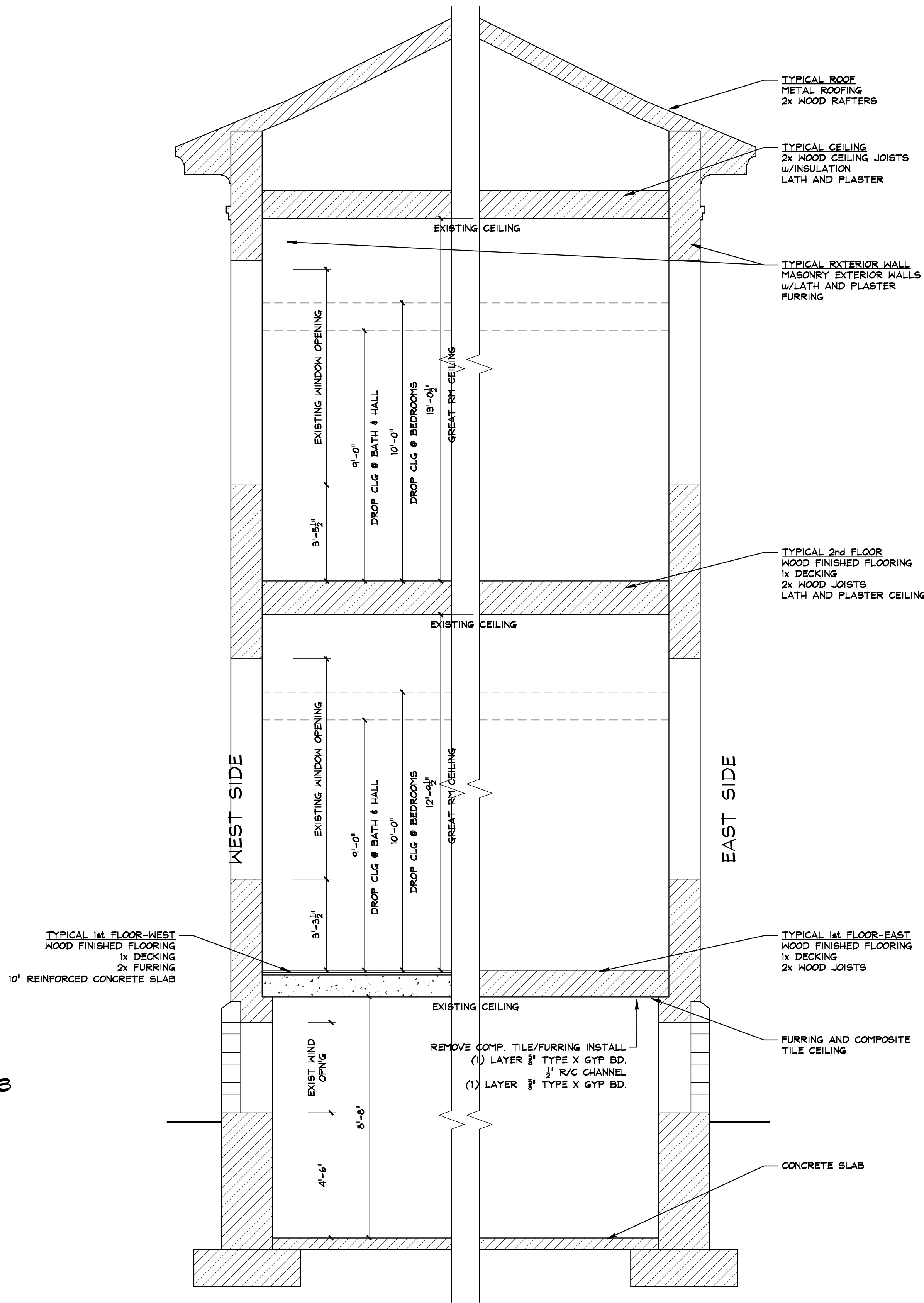
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5 EXTENSION BUILDING SECTION

3/8" = 1'-0"



1 SECTION THROUGH MAIN BUILDING

3/8" = 1'-0"

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CASEWORK ELEVATIONS

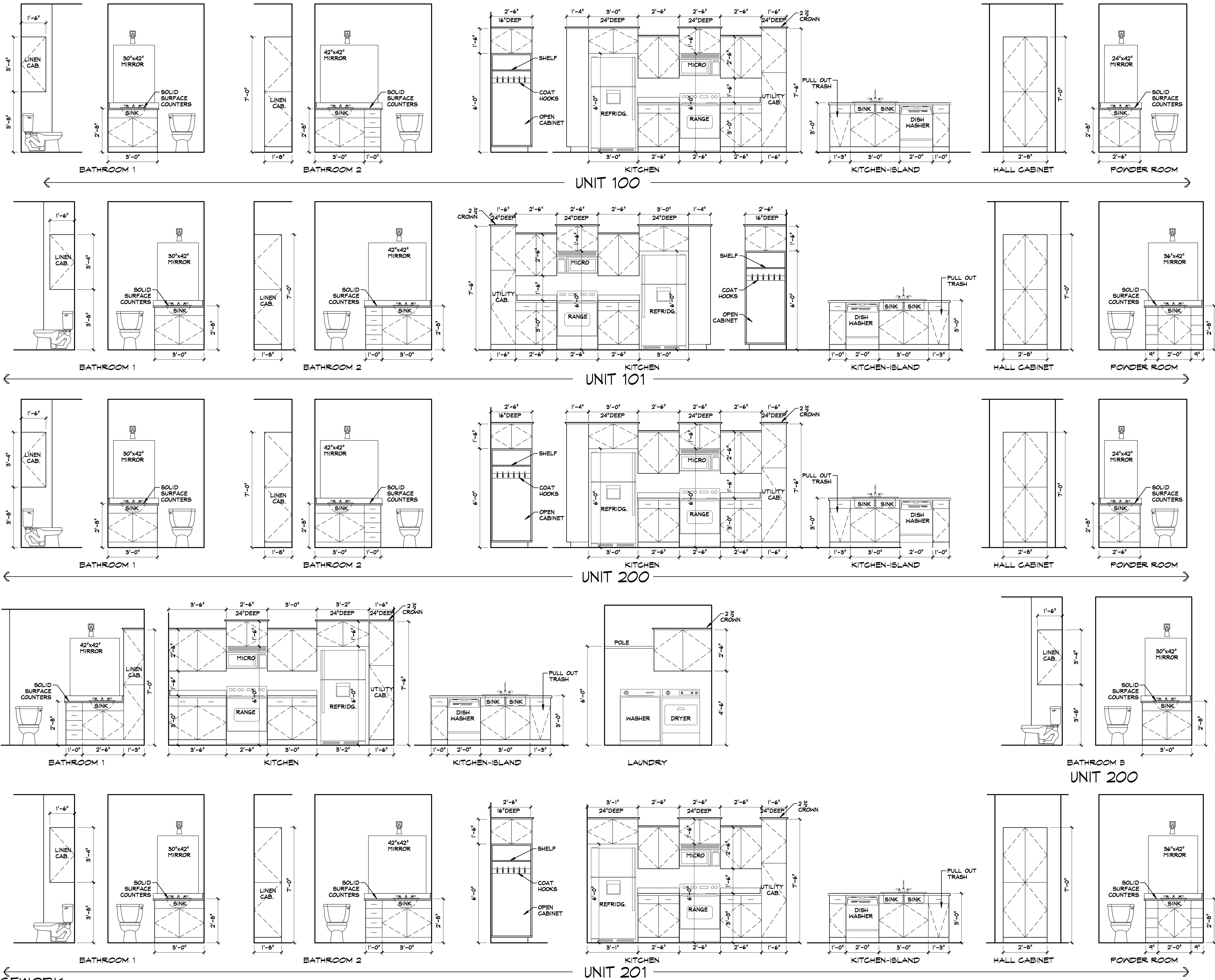
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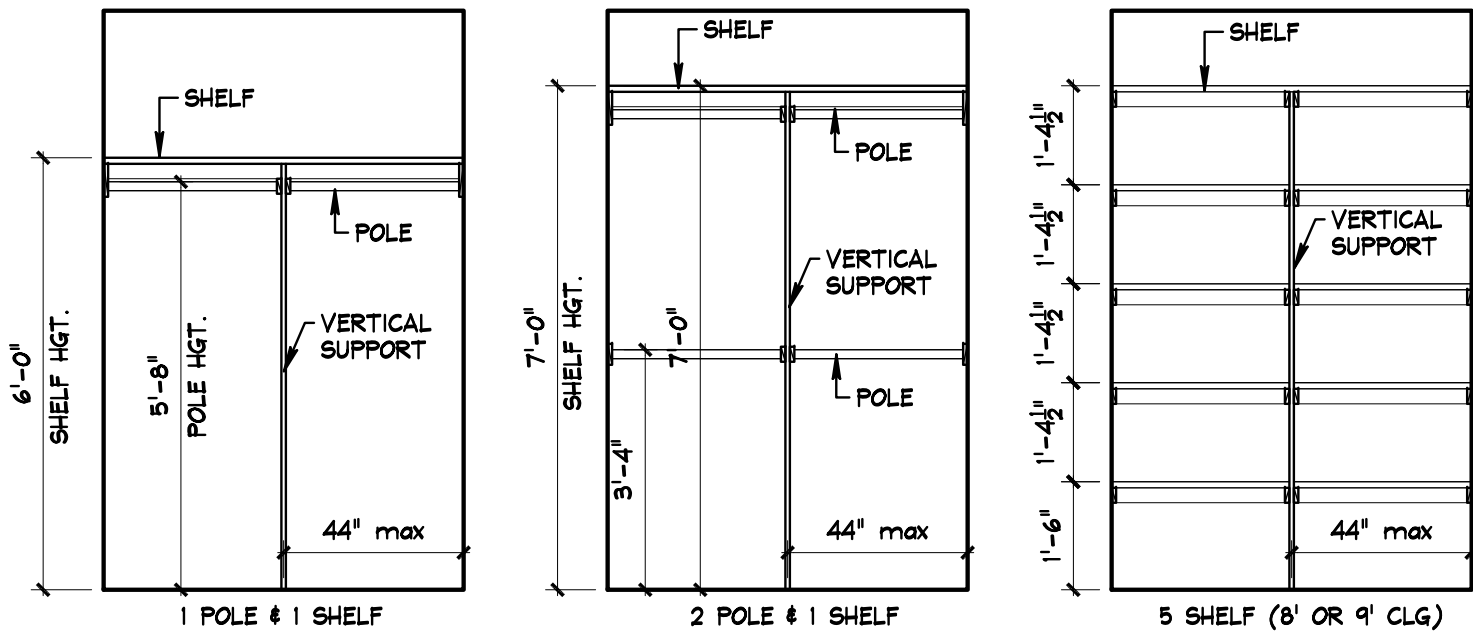
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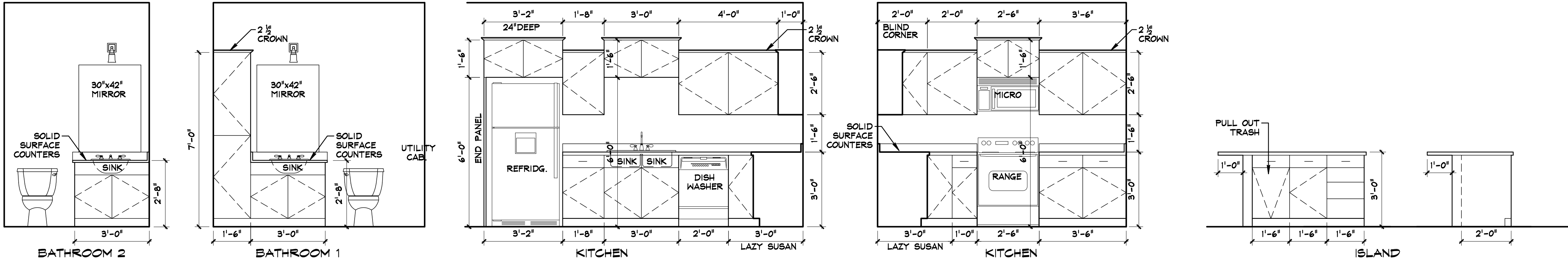
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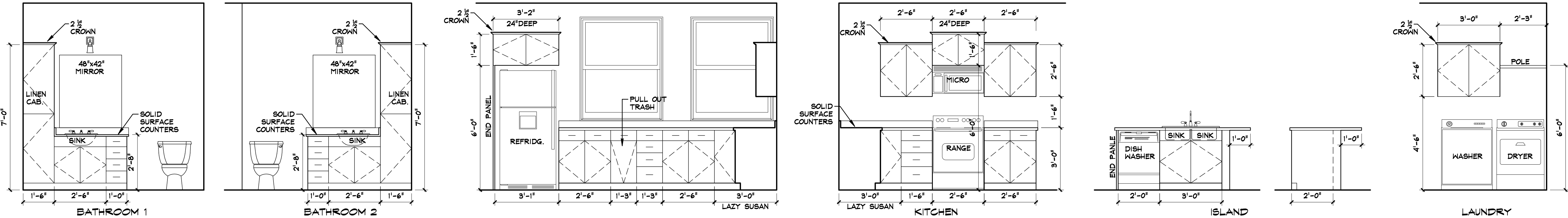
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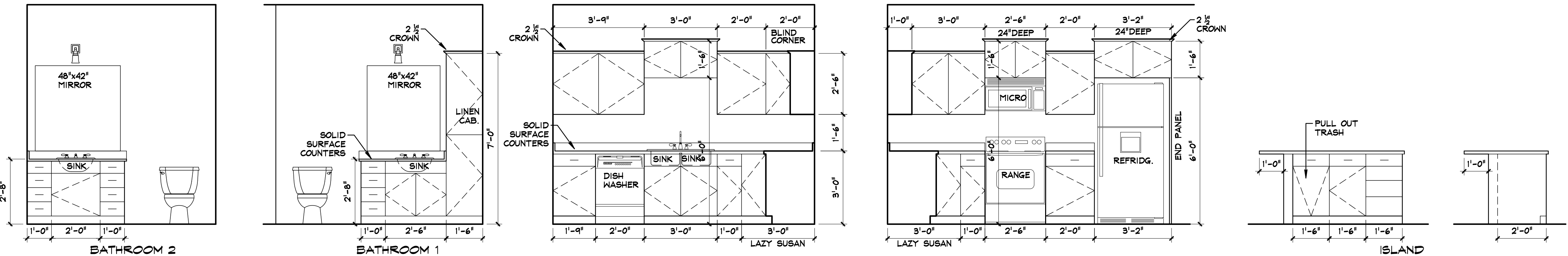
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UNIT 104



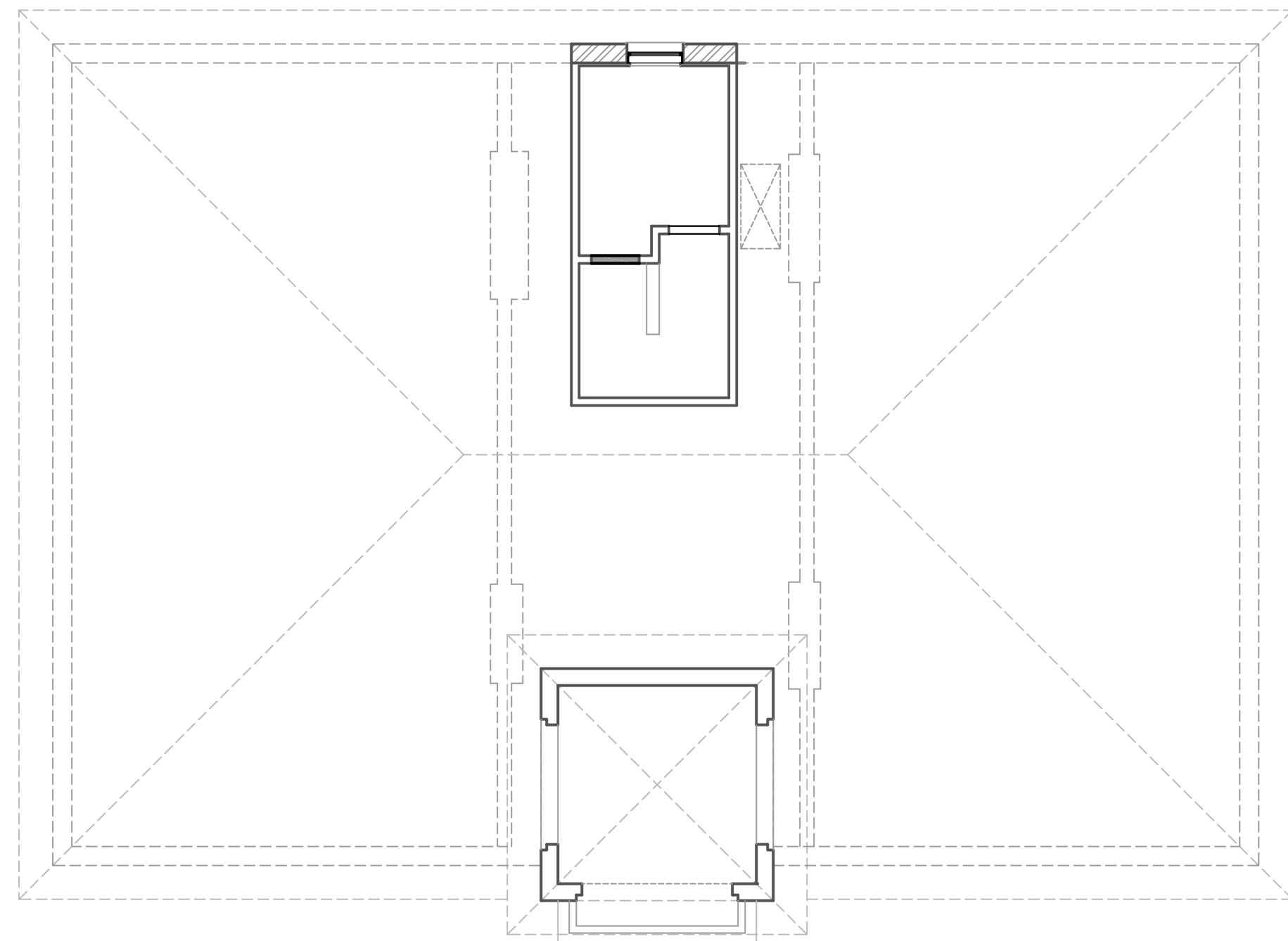
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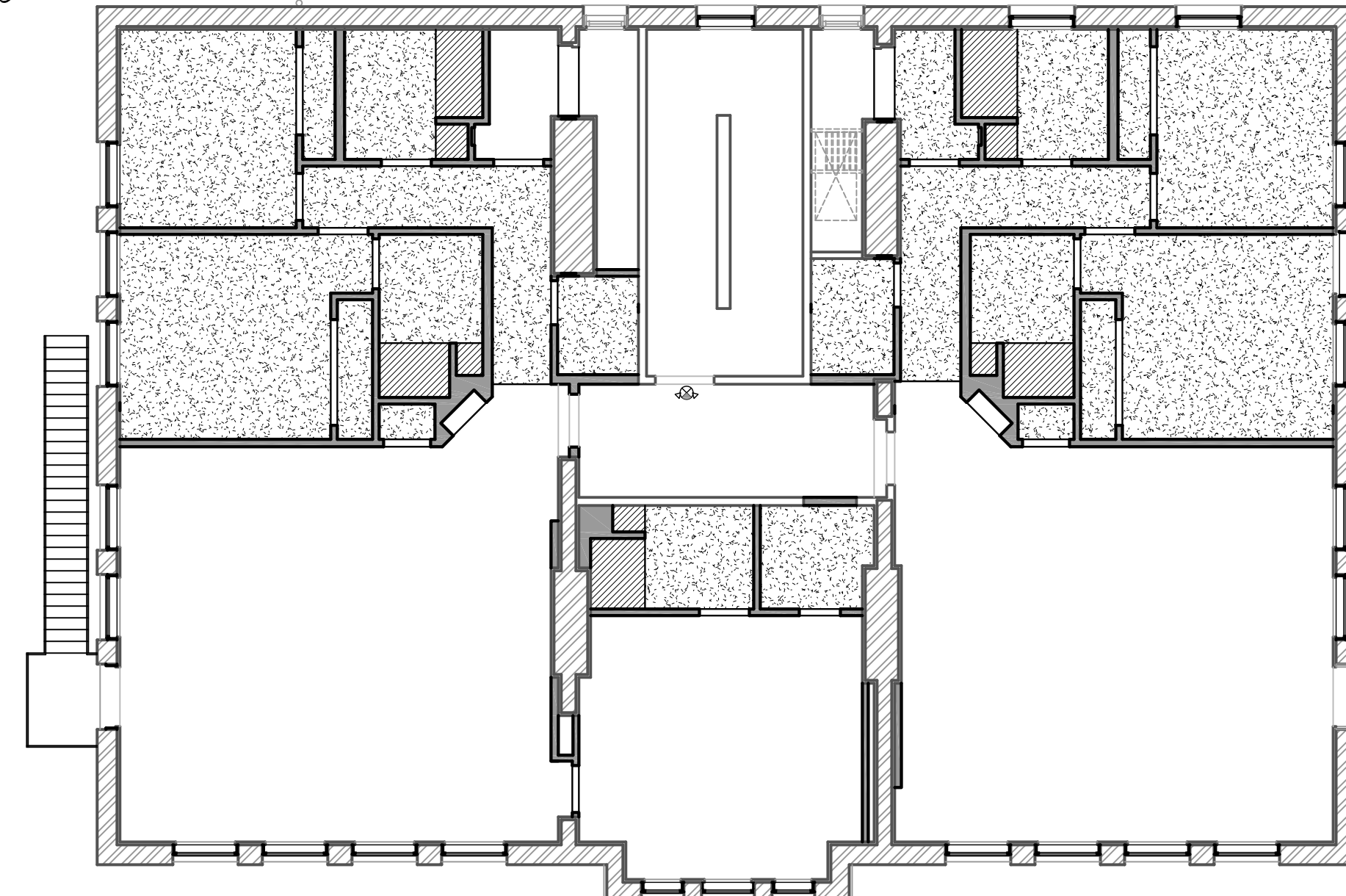
UNIT 102

CASEWORK

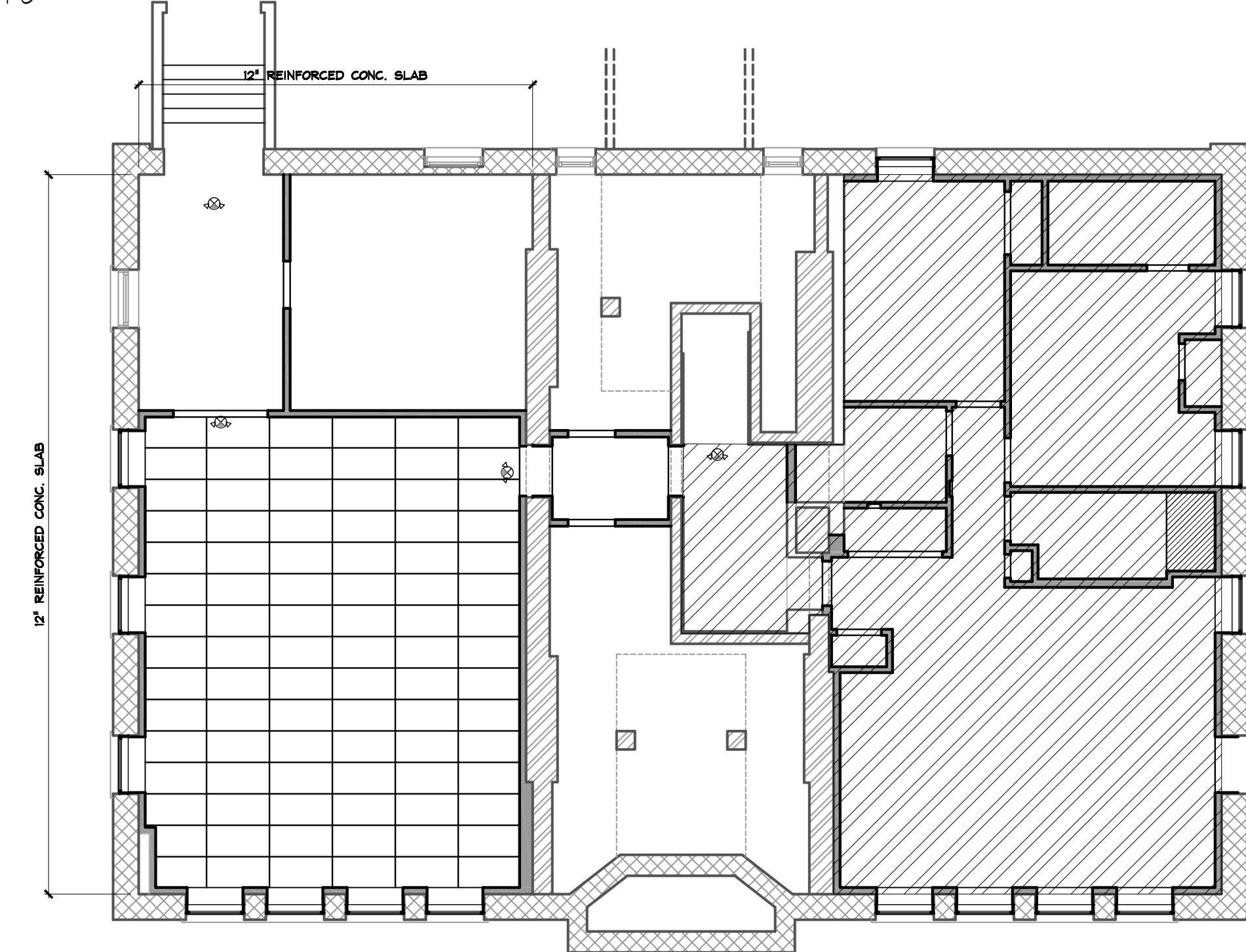
3/8" = 1'-0"



15 EXISTING ROOF PLAN
1/8" = 1'-0"



10 SECOND REFLECTED FLOOR PLAN
1/8" = 1'-0"



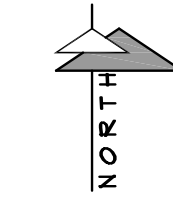
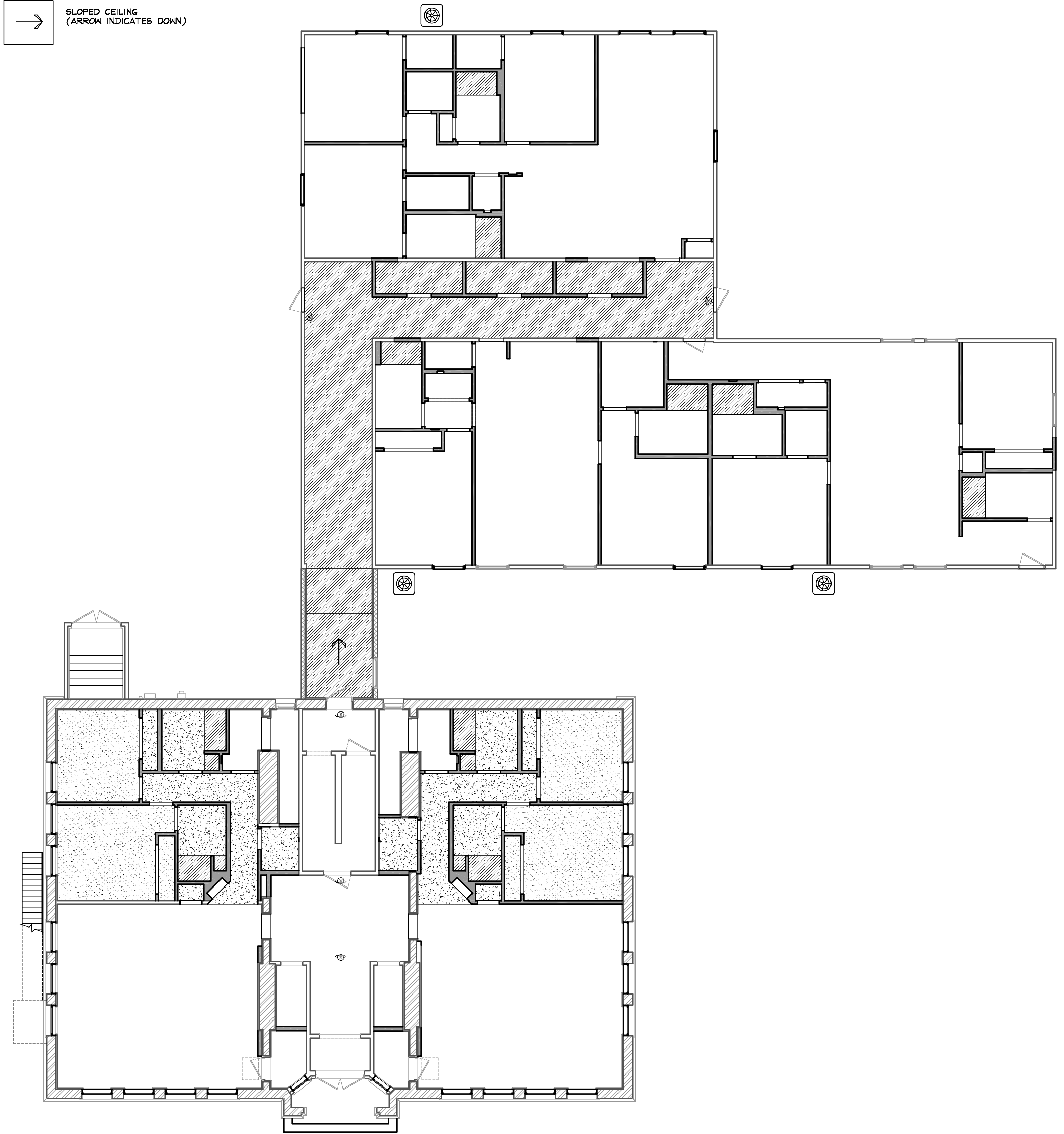
5 LOWER FLOOR REFLECTED PLAN
1/8" = 1'-0"

CEILINGS KEY

- EXISTING CEILING (NO DROP)
- DROP CEILING TO 10'-0" AFF
- DROP CEILING/SOFFIT TO 9'-0" AFF
- DROP CEILING TO 8'-0" AFF
- DROPPED ACT CEILING AT 8'-6" AFF
- SLOPED CEILING (ARROW INDICATES DOWN)

RATED FLOOR/CEILINGS KEY

- 2 HOUR FIRE RATING UL #L505



3 MAIN FLOOR REFLECTED PLAN
1/8" = 1'-0"

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CEILING PLAN

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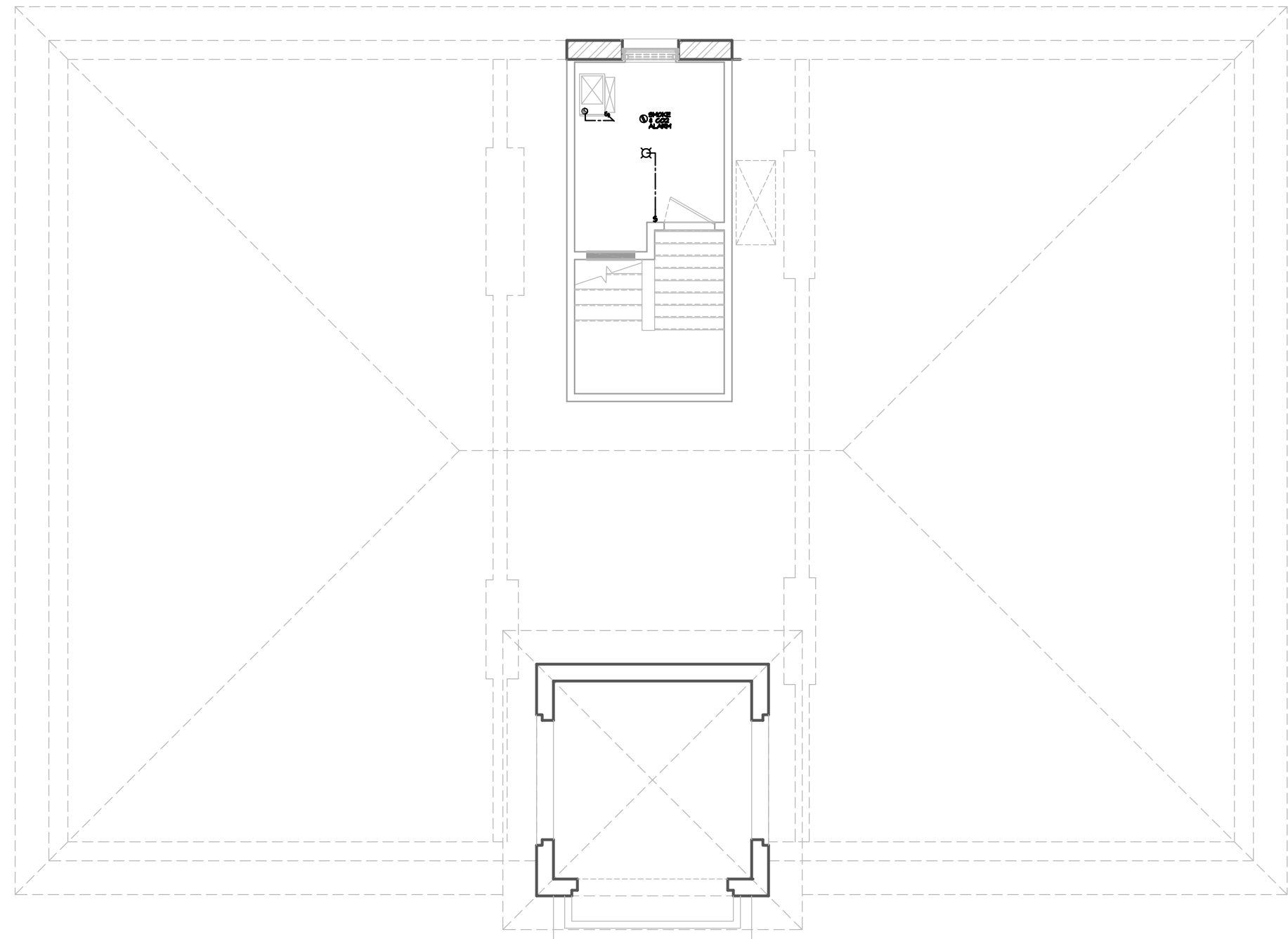
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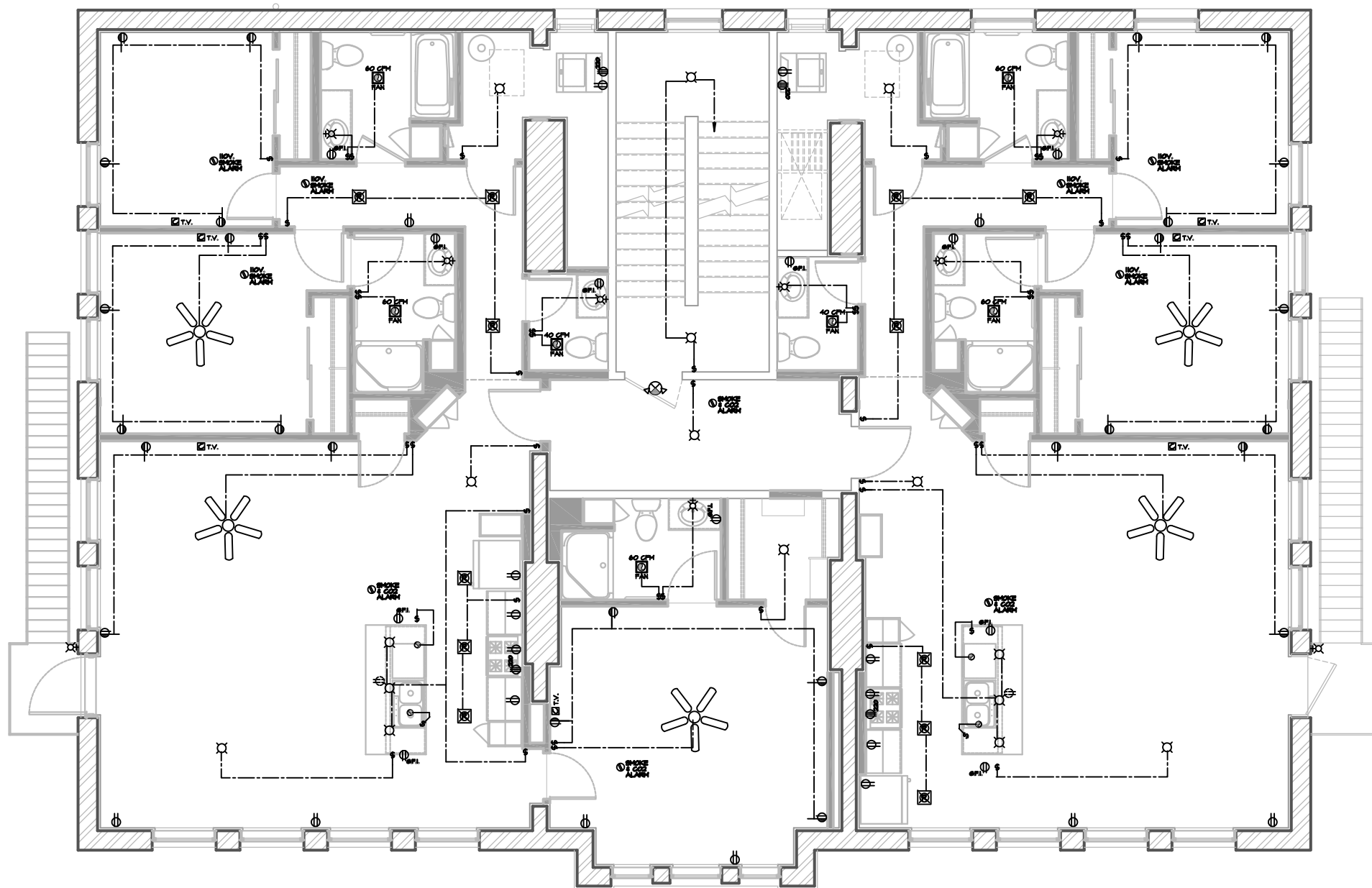
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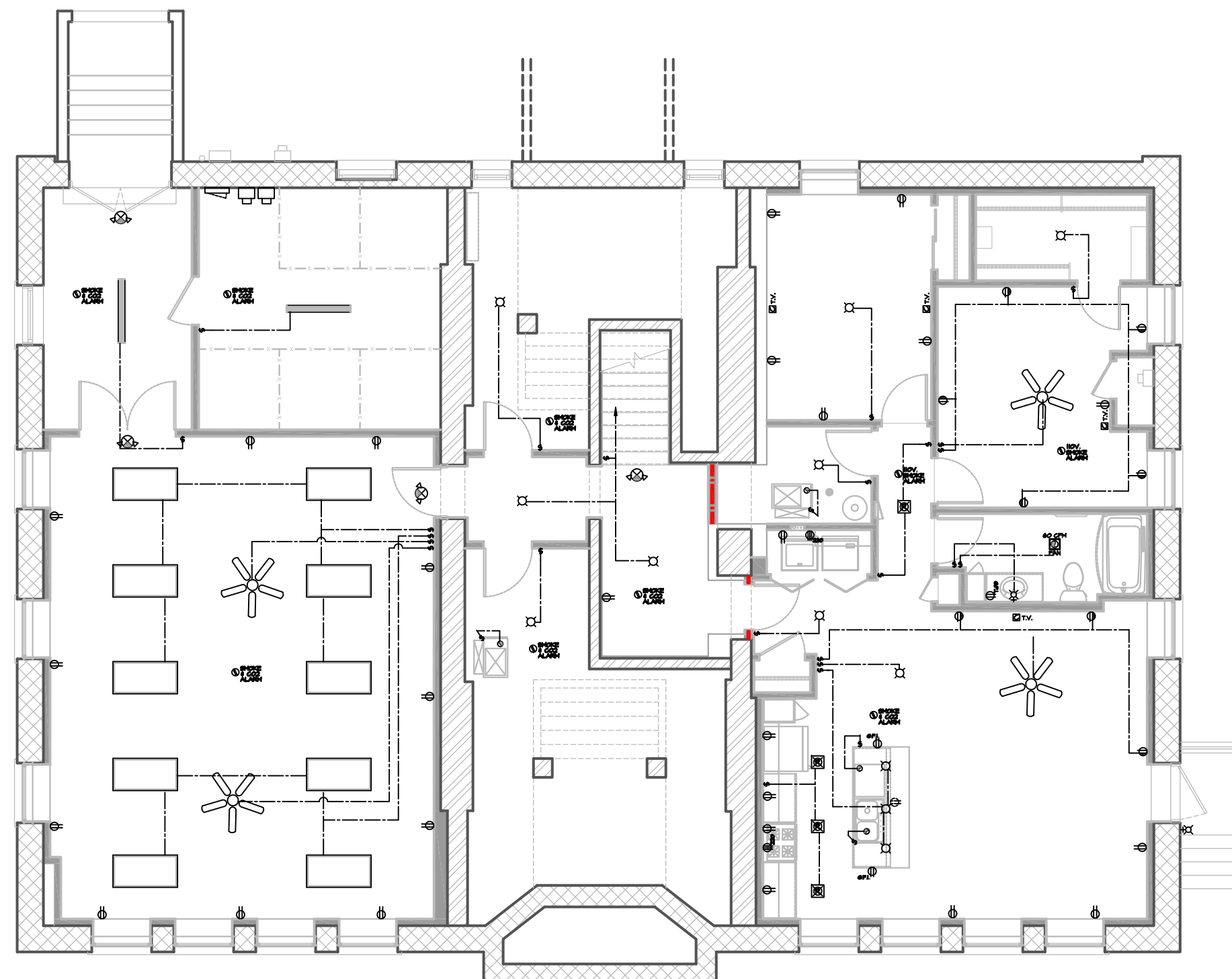
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15 LOFT ELECTRICAL PLAN
1/8" = 1'-0"



10 SECOND FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

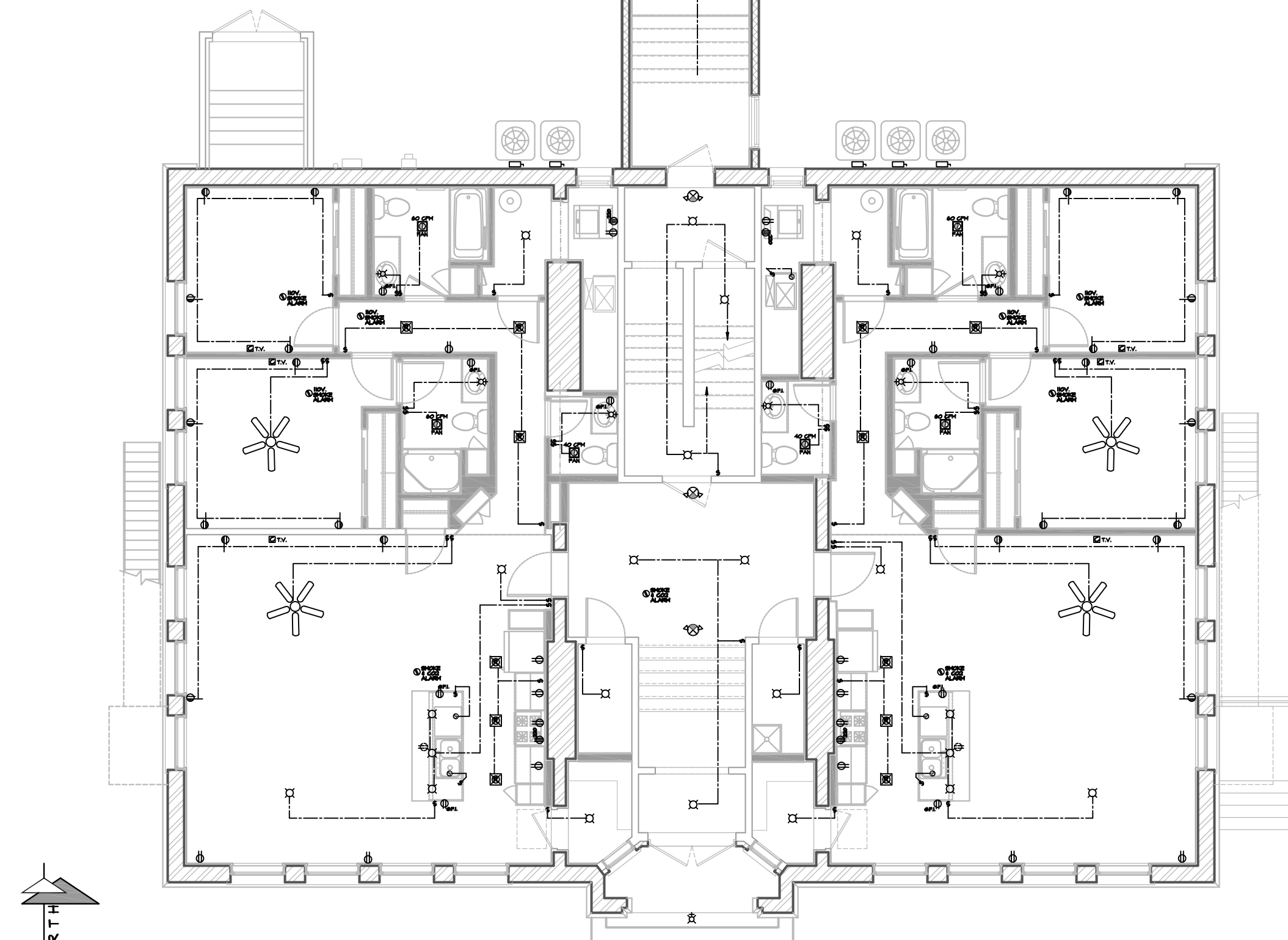
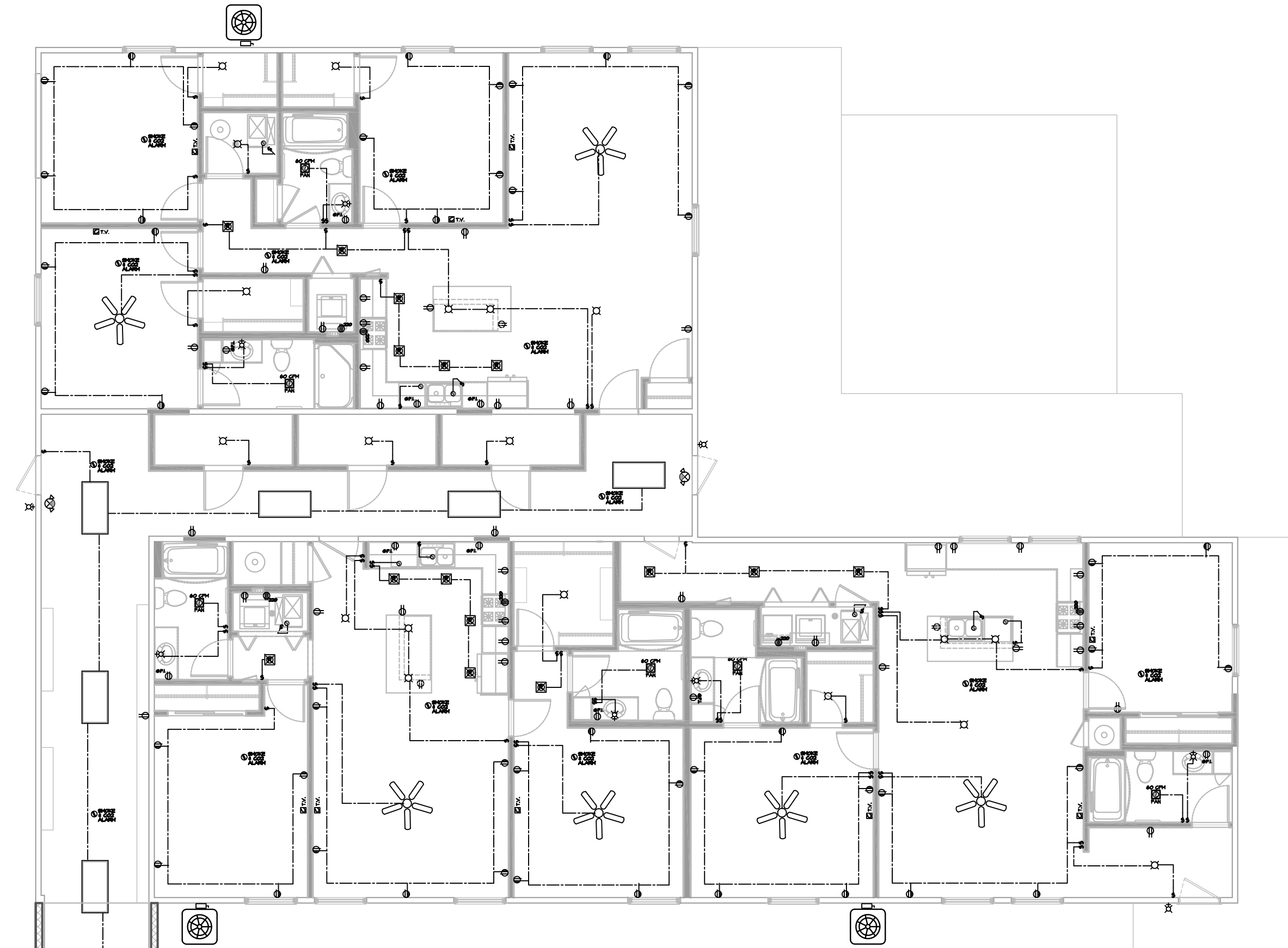


5 LOWER FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

- ELECTRICAL KEY**
- | | | | |
|--|--|--|----------------------------------|
| | CEILING MOUNT BATH FAN | | RECESSED LIGHT |
| | CEILING MOUNT BATH FAN/LIGHT | | INTERCONNECTED SMOKE / CO2 ALARM |
| | CEILING FAN BOX LOCATION | | SWITCH |
| | 24" FLUORESCENT FIXTURE | | DIMMER SWITCH |
| | CEILING LIGHT | | JAMB SWITCH |
| | PULL CHAIN | | HALL LIGHT |
| | DUPLUX RECEPTACLE | | INTERCOM |
| | SWITCHED DUPLUX RECEPTACLE | | PHONE |
| | 220 VOLT RECEPTACLE | | CABLE T.V. JACK |
| | WEATHERPROOF RECEPTACLE | | SPEAKER JACK |
| | QUAD RECEPTACLE | | DOORBELL CHIME |
| | GROUND FAULT RECEPTACLE | | THERMOSTAT |
| | DUPLUX FLOOR RECEPTACLE | | WALL SCONCE |
| | DISCONNECT | | SERVICE PANEL WALL MT. |
| | 2x4 SURFACE MT OR GRID MOUNT LED LIGHT | | SERVICE PANEL RECESSED |
| | | | MOTOR |

OPERABLE PARTS:

REQUIRED AT ALL FIRST FLOOR TYPE B UNITS.



3 MAIN FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

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WEST ALLIS, WI 53214
PHONE (414) 617-0352

Waldo Apartments

348 West 1st Street
Waldo, WI 53093

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Sheet Contents

ELECTRICAL PLANS

Issued For: Date:
Prelim 1 2 Dec. 2021
Review Set 23 Jan. 2022
Construction 27 June, 2022

Drawn By: DG

Checked By: DG

Date: Date:

Job Number: 16 Feb. 2021

Sheet Number

E 1.0

THE
CUSTOM
HOUSE LLC

ARCHITECTURE UNLIMITED

RESIDENTIAL
COMMERCIAL

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STRUCTURAL PLANS

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Drawn By: DG

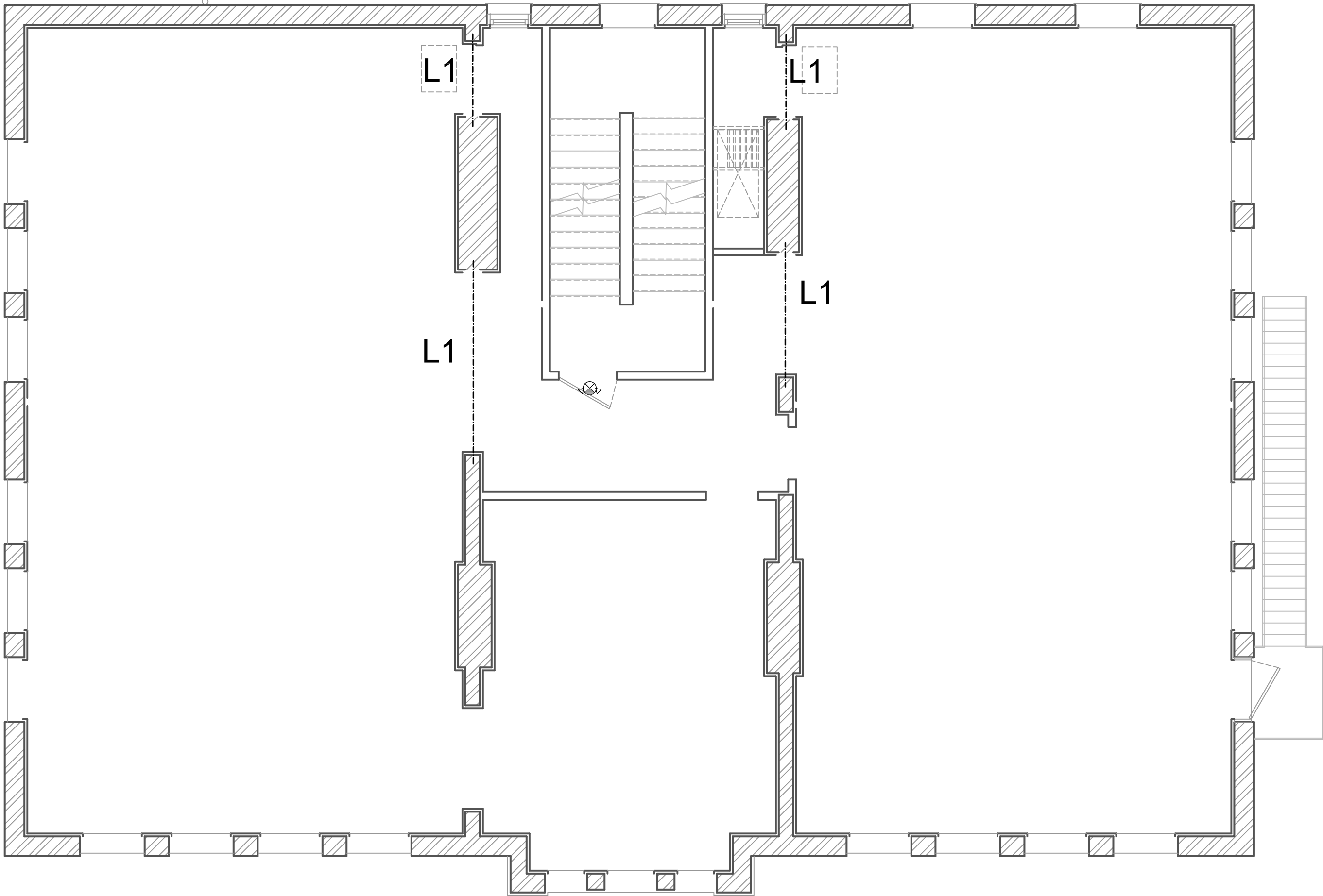
Checked By: DG

Date: Date:

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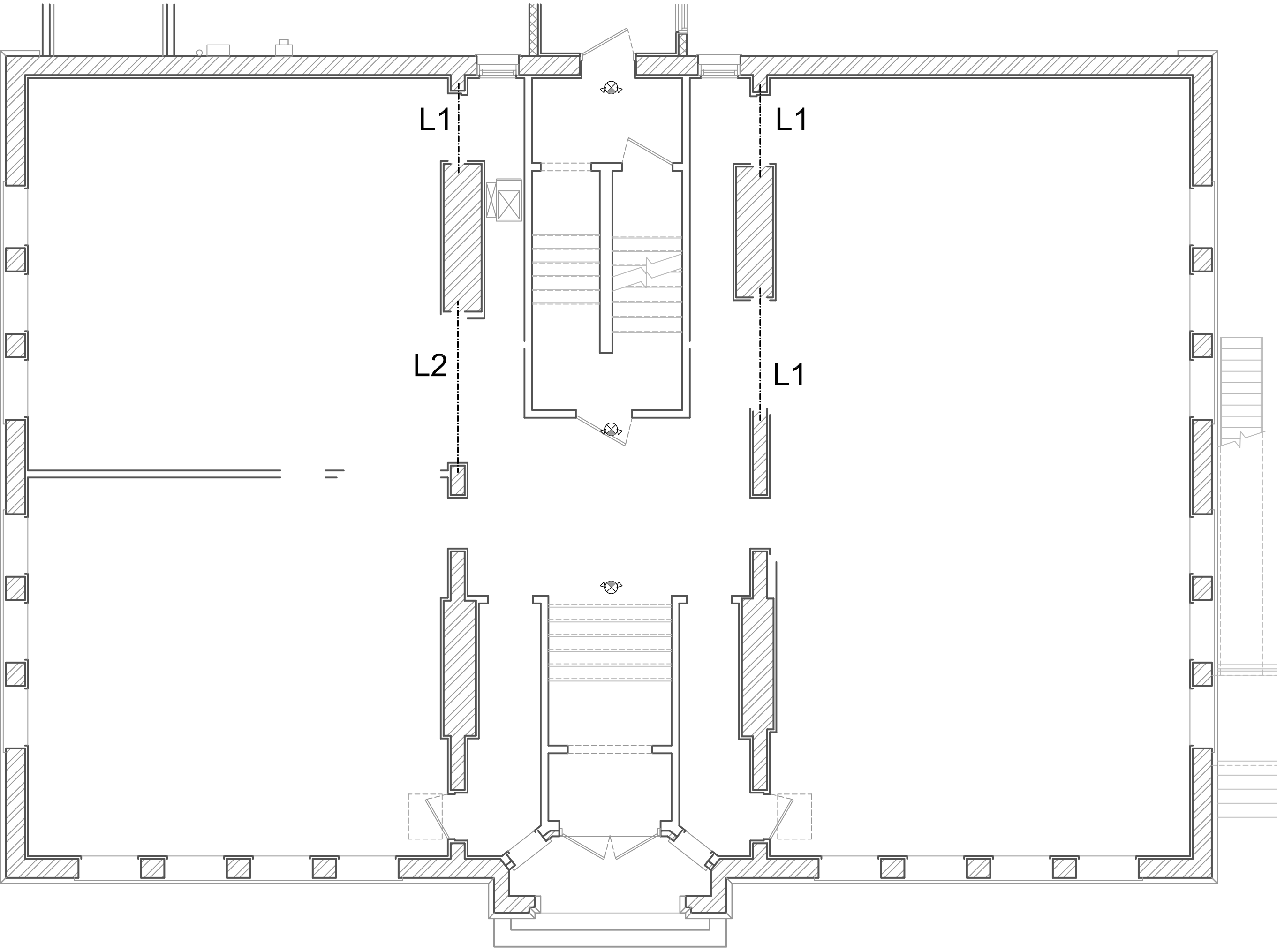
Sheet Number

S 1.0



3 SECOND FLOOR STRUCTURAL PLAN

3/16" = 1'-0"

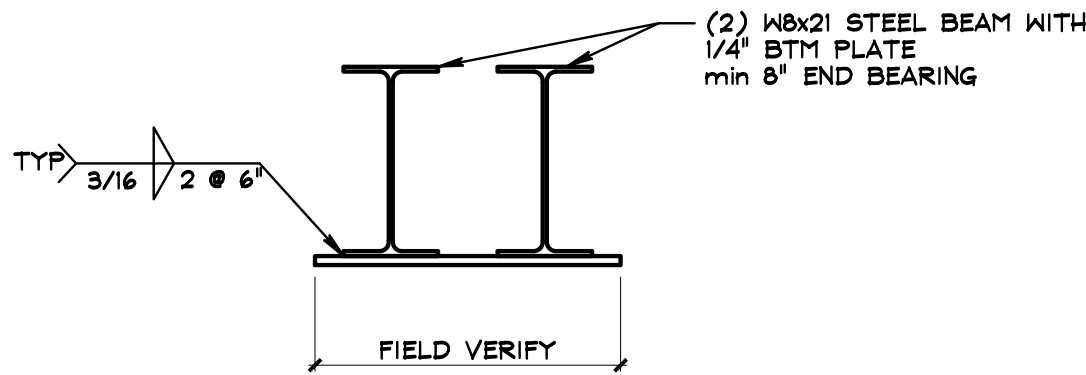


3 FIRST FLOOR STRUCTURAL PLAN

3/16" = 1'-0"

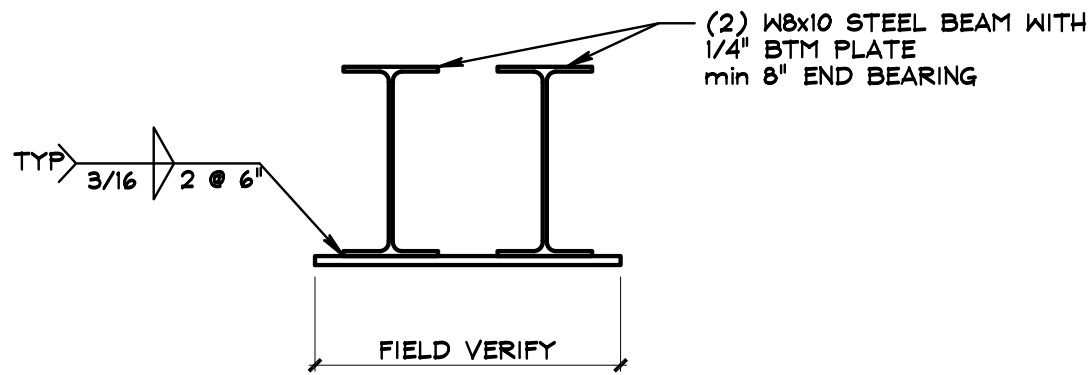
L1 NEW LINTEL - SEE DETAIL 2/SI.0

L2 NEW LINTEL - SEE DETAIL 3/SI.0



3 LINTEL "L2"

1 1/2" = 1'-0"



2 LINTEL "L1"

1 1/2" = 1'-0"