

**SITE INFO**SUBDIVISION Mueller FieldsLOT NO. 58 BLOCK NO. 0

ZONING DISTRICT

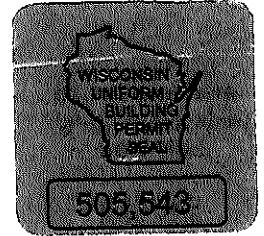
NE 1/4 of the SE 1/4 of Section 8, Township 15 North,  
Route 23 EastPARCEL NO. 59024365898

SETBACKS:

FRONT 30.5 ftREAR 202.8 ftLEFT 42 ftRIGHT 65.1 ft

Work shall not proceed until the inspector has approved the various stages of construction or two business days have been elapsed since the day of inspection request. This permit will expire 24 months after the date of issuance if the building's exterior has not been completed. **Keep this card posted until final inspection has been made.** (WI Stats. 101.63)

WISCONSIN UNIFORM

**BUILDING****PERMIT # 15-2021  
12-2021**

Constr  HVAC  Elect  Plumb  Erosion

**Project:**

|                  |  |                       |
|------------------|--|-----------------------|
| <b>Issued To</b> | OWNER (Agent)<br>John Ader             | PHONE<br>920-526-3028 |
|                  | BUILDING SITE ADDRESS<br>Limerick Lane |                       |
|                  | CITY, VILLAGE, TOWN<br>SHEBOYGAN       |                       |

**INSPECTIONS**

| PHASE            | ROUGH | FINAL | EROSION |
|------------------|-------|-------|---------|
| FOOTING          |       |       |         |
| FOUNDATION       |       |       |         |
| BSMT DRAIN TILES |       |       |         |
| CONSTRUCTION     |       |       |         |
| PLUMBING         |       |       |         |
| HEAT/VENT/AC     |       |       |         |
| ELECTRICAL       |       |       |         |
| INSULATION       |       |       |         |
| OCCUPANCY        |       |       |         |

**CONTRACTORS**

| NAME                                      | CREDENTIAL # | PHONE        |
|---|--------------|--------------|
| G.C<br>HILLCREST BUILDERS<br>CONSTRUCTION | DC-080200004 | 920-526-3028 |
| HVAC<br>ALL AMERICAN HVAC LLC             | 1128013      | 920-207-9429 |
| ELEC.<br>ROETHEL ELECTRIC LLC             | 860953       | 920-564-3586 |
| PLBG<br>JERROD P JENSEMA                  | 653302       | 920-946-0418 |
| MSTR ELEC.<br>ROBERT A ROETHEL            | 170785       | 920-564-3586 |

**Issued by**PERSON ISSUING  
Peggy L FischerCERT.NO.  
983539DATE ISSUED  
07/14/2021PHONE  
9204512320

**Comments:** A required as built survey with elevations and contours is due within six months of occupancy. Failure can result in the refund not being issued. Failed inspections are billed back at \$138 per inspection and can be deducted from the deposit. please see attached Table 1 regarding these fees.

**NOTICE OF NONCOMPLIANCE:** This issuing jurisdiction shall notify the applicant in writing of any violations to be corrected. All cited violation, except erosion control ones, shall be corrected within 30 days of notification, unless extension time is granted

|   |   |  |
|---|---|--|
| Dept of Safety & Professional Services<br>Industry Services Division<br>Wisconsin Stats. 101.63, 101.73 | <h2 style="margin:0;">Wisconsin Uniform Building Permit Application</h2> <p style="font-size: small; margin: 5px 0;">Instructions on back of second ply. The information you provide may be used by other government agency programs [(Privacy Law, s. 15.04 (1)(m))]</p> | Application No.<br><br>Parcel No.<br>59024365898 |
|---|---|--|

**PERMIT REQUESTED**     **Constr.**     **HVAC**     **Electric**     **Plumbing**     **Erosion Control**     **Other:**

|   |   |                                    |
|---|---|------------------------------------|
| <b>Owner's Name</b><br>Joshua and Morgan Rahn   | <b>Mailing Address</b><br>1908 David Avenue Sheboygan, WI 53081               | <b>Telephone</b><br>(920) 619-4635 |
| <b>Contractor Name &amp; Type</b><br>Dwelling Contractor (Constr.)<br>Hillcrest Builders  | <b>Lic/Cert#</b><br>DC-080200004  | <b>Exp Date</b><br>11-12-20        |
| <b>Mailing Address</b><br>124 South Swift Street<br>Glenbeulah, WI 53023  | <b>Telephone &amp; Email</b><br>(920) 526-3028<br>jader@hillcrestbuilders.com |                                    |
| <b>Dwelling Contr. Qualifier (The Dwelling Contr. Qualifier shall be an owner, CEO, COB or employee of the Dwelling Contr.)</b> | <b>DCQ-</b><br>100700397  | <b>Exp Date</b><br>10-13-21        |
| <b>Mailing Address</b><br>124 South Swift Street<br>Glenbeulah, WI 53023  | <b>Telephone &amp; Email</b><br>(920) 526-3028<br>jader@hillcrestbuilders.com |                                    |
| <b>HVAC</b><br>All American HVAC, LLC   | <b>Lic/Cert#</b><br>1128013   | <b>Exp Date</b><br>12-22-21        |
| <b>Mailing Address</b><br>N2358 Highway 28<br>Adell, WI 53001   | <b>Telephone &amp; Email</b><br>(920) 207-9429<br>allamericanhvac@gmail.com   |                                    |
| <b>Electrical Contractor</b><br>Roethel Electric  | <b>Lic/Cert#</b><br>860953  | <b>Exp Date</b><br>06-30-25        |
| <b>Mailing Address</b><br>21 South 12 <sup>th</sup> Street<br>Oostburg, WI 53070  | <b>Telephone &amp; Email</b><br>(920) 564-3586<br>bob@roethelectric.com       |                                    |
| <b>Electrical Master Electrician</b><br>Roethel Electric  | <b>Lic/Cert#</b><br>170785  | <b>Exp Date</b><br>06-30-25        |
| <b>Mailing Address</b><br>21 South 12 <sup>th</sup> Street<br>Oostburg, WI 53070  | <b>Telephone &amp; Email</b><br>(920) 564-3586<br>bob@roethelectric.com       |                                    |
| <b>Plumbing</b><br>Riverview Plumbing   | <b>Lic/Cert#</b><br>653302  | <b>Exp Date</b><br>03-31-23        |
| <b>Mailing Address</b><br>N3167 Woodridge Court<br>Sheboygan Falls, WI 53085  | <b>Telephone &amp; Email</b><br>(920) 946-0418<br>riverviewplbg@gmail.com     |                                    |

**PROJECT LOCATION**    Lot area 44,827 Square Feet     One acre or more of soil will be disturbed     Town  Village  City of Sheboygan    NE 1/4, SE 1/4, of Section 8, T 15 N, R 23 E

|   |                            |   |                          |                          |
|---|----------------------------|---|--------------------------|--------------------------|
| <b>Building Address</b><br>3318 Limerick Lane | <b>County</b><br>Sheboygan | <b>Subdivision Name</b><br>Mueller Fields | <b>Lot No.</b><br>58     | <b>Block No.</b><br>58   |
| <b>Zoning District(s)</b>                     | <b>Zoning Permit No.</b>   | <b>Setbacks:</b>                          | <b>Front</b><br>30.5 ft. | <b>Rear</b><br>202.8 ft. |
|   |                            |   | <b>Left</b><br>42.0 ft.  | <b>Right</b><br>65.1 ft. |

| <b>1. PROJECT</b><br><input checked="" type="checkbox"/> New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Other:<br><input type="checkbox"/> Repair <input type="checkbox"/> Raze <input type="checkbox"/> Move   | <b>3. OCCUPANCY</b><br><input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Garage <input type="checkbox"/> Other:<br><input type="checkbox"/> Site-Built <input type="checkbox"/> Mfd. per WI UDC <input type="checkbox"/> Mfd. per US HUD | <b>6. ELECTRIC</b><br>Entrance Panel Amps: 200<br><input checked="" type="checkbox"/> Underground <input type="checkbox"/> Overhead<br><b>7. WALLS</b><br><input checked="" type="checkbox"/> Wood Frame <input type="checkbox"/> Steel <input type="checkbox"/> ICF <input type="checkbox"/> Timber/Pole <input type="checkbox"/> Other: | <b>9. HVAC EQUIP.</b><br><input checked="" type="checkbox"/> Furnace <input type="checkbox"/> Radiant Basebd <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input checked="" type="checkbox"/> Central AC <input type="checkbox"/> Fireplace <input type="checkbox"/> Other:<br><b>10. SEWER</b><br><input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Sanitary Permit#<br><b>11. WATER</b><br><input checked="" type="checkbox"/> Municipal <input type="checkbox"/> On-Site Well | <b>12. ENERGY SOURCE</b><br><table style="width:100%; border-collapse: collapse;"> <tr> <td style="border: none;">Fuel</td> <td style="border: none;">Nat Gas</td> <td style="border: none;">LP</td> <td style="border: none;">Oil</td> <td style="border: none;">Elec</td> <td style="border: none;">Solid</td> <td style="border: none;">Solar Geo</td> </tr> <tr> <td style="border: none;">Space Htg</td> <td style="border: none;"><input checked="" type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> </tr> <tr> <td style="border: none;">Water Htg</td> <td style="border: none;"><input checked="" type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> </tr> </table> | Fuel                     | Nat Gas                  | LP          | Oil  | Elec | Solid  | Solar Geo | Space Htg | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Water Htg   | <input checked="" type="checkbox"/>  | <input type="checkbox"/>  | <input type="checkbox"/>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|---|---|---|--|--------------------------|--------------------------|-------------|------|------|--------|-----------|-----------|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|---|--|---|--|--------------------------|--------------------------|--------------------------|
| Fuel  | Nat Gas   | LP  | Oil   | Elec   | Solid                    | Solar Geo                |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |
| Space Htg   | <input checked="" type="checkbox"/>   | <input type="checkbox"/>  | <input type="checkbox"/>  | <input type="checkbox"/>   | <input type="checkbox"/> | <input type="checkbox"/> |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |
| Water Htg   | <input checked="" type="checkbox"/>   | <input type="checkbox"/>  | <input type="checkbox"/>  | <input type="checkbox"/>   | <input type="checkbox"/> | <input type="checkbox"/> |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |
| <b>2. AREA INVOLVED (sq ft)</b><br><table style="width:100%; border-collapse: collapse;"> <tr> <th style="border: none;">Unit 1</th> <th style="border: none;">Unit 2</th> <th style="border: none;">Total</th> </tr> <tr> <td style="border: none;">Unfinish Base</td> <td style="border: none;">1092</td> <td style="border: none;"></td> </tr> <tr> <td style="border: none;">Living Area</td> <td style="border: none;">2442</td> <td style="border: none;"></td> </tr> <tr> <td style="border: none;">Garage</td> <td style="border: none;">568</td> <td style="border: none;"></td> </tr> <tr> <td style="border: none;">Deck/ Porch</td> <td style="border: none;">44</td> <td style="border: none;"></td> </tr> <tr> <td style="border: none;">Totals</td> <td style="border: none;">4146</td> <td style="border: none;"></td> </tr> </table> | Unit 1  | Unit 2  | Total   | Unfinish Base  | 1092                     |                          | Living Area | 2442 |      | Garage | 568       |           | Deck/ Porch                         | 44                       |                          | Totals                   | 4146                     |                          | <b>4. CONST. TYPE</b><br><input checked="" type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other:<br><input checked="" type="checkbox"/> Basement | <b>8. USE</b><br><input type="checkbox"/> Seasonal <input checked="" type="checkbox"/> Permanent <input type="checkbox"/> Other: | <b>13. HEAT LOSS</b><br>60199 BTU/HR Total Calculated<br>Envelope and Infiltration Losses (available from "Total Building Heating Load" on REScheck report) | <b>14. EST. BUILDING COST w/o LAND</b><br><div style="text-align: center; font-size: large; font-weight: bold;">\$236,400.00</div> |                          |                          |                          |
| Unit 1  | Unit 2  | Total   |   |  |                          |                          |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |
| Unfinish Base   | 1092  |   |   |  |                          |                          |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |
| Living Area   | 2442  |   |   |  |                          |                          |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |
| Garage  | 568   |   |   |  |                          |                          |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |
| Deck/ Porch   | 44  |   |   |  |                          |                          |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |
| Totals  | 4146  |   |   |  |                          |                          |             |      |      |        |           |           |                                     |                          |                          |                          |                          |                          |   |  |   |  |                          |                          |                          |

I understand that I am subject to all applicable codes, laws, statutes and ordinances, including those described on the reverse side of the last ply of this form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to chapter NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the back of the permit if not signing below. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.  I vouch that I am or will be an owner occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the second page of this form.

**APPLICANT (Print:)** John A. Ader - Hillcrest Builders    **Sign:** *John A. Ader*    **Date** 06-23-2021

**APPROVAL CONDITIONS**    This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.     See attached for conditions of approval.

|                             |   |  |   |
|-----------------------------|---|--|---|
| <b>ISSUING JURISDICTION</b> | <input type="checkbox"/> Town of _____<br><input type="checkbox"/> Village of _____<br><input type="checkbox"/> City of _____ | <input type="checkbox"/> County of _____<br><input type="checkbox"/> State _____ | State-Contracted Inspection Agency#: _____<br>Municipality Number of Dwelling Location: _____ |
|-----------------------------|---|--|---|

|   |  |                          |   |
|---|--|--------------------------|---|
| <b>FEES:</b>  | <b>PERMIT(S) ISSUED</b>  | <b>WIS PERMIT SEAL #</b> | <b>PERMIT ISSUED BY:</b>  |
| Plan Review \$ _____<br>Inspection \$ _____<br>Wis. Permit Seal \$ _____<br>Other \$ _____<br><b>Total \$ _____</b> | <input type="checkbox"/> Construction<br><input type="checkbox"/> HVAC<br><input type="checkbox"/> Electrical<br><input type="checkbox"/> Plumbing<br><input type="checkbox"/> Erosion Control |                          | Name _____<br>Date _____ Tel. _____<br>Cert No. _____<br>Email: _____ |

7/8/21

## TOWN OF SHEBOYGAN

### PLAN EXAMINATION CONDITIONAL APPROVAL

PROJECT/SITE OWNER: HILLCREST BUILDERS

DETAILS:

PROJECT ADDRESS: 3318 LIMERICK LANE

Plans Date: 6-21-21

# of Sheets: 10

SAFEbuilt Wisconsin LLC conducts plan examination and approval services as required by SPS 320.09 on behalf of the local authority having jurisdiction listed above as authorized by SPS 320.06.

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been conditionally approved. The conditions listed herein and on the attached pages shall be met during construction or installation and prior to occupancy or use.

The owner, as defined in chapter 101.61(2), Wisconsin Statutes, as well as designers and builders, shall use building materials, methods, and equipment which are in conformance with the UDC as required by 101.66(1), Wisconsin Statutes. This approval is granted under SPS 320.09(8) for the issuance of a Wisconsin Uniform Building Permit as required by SPS 320.08 (1).

Permits shall be obtained from the local authority having jurisdiction prior to starting construction. The permit fee shall be as prescribed in ordinances adopted by the local authority. A Wisconsin Uniform Building Permit may not be issued to a person unless the person possesses a dwelling contractor and dwelling contractor qualifier license in accordance with SPS 320.09 (9) (a.2) and 101.654, Wisconsin Statutes or the person is the site owner and has signed a cautionary statement in accordance with 101.654 (1)(b) and 101.65 (1r), Wisconsin Statutes.

Per SPS 320.09 (8) and (9), a copy of the Wisconsin Uniform Building Permit along with this letter detailing the approval conditions shall be posted in a conspicuous place at the dwelling site, and all conditions of this approval shall be met during construction.

SAFEbuilt Wisconsin is committed to helping create better communities and thanks you for your patience and continued cooperation. Feel free to contact the plans examiner should you have any questions or concerns.

Sincerely,

Beth Klahn Plans Examiner  
SAFEbuilt Wisconsin, LLC  
(262) 894-2974  
Bklahn@Safebuilt.com

Foam insulation applied to exterior of basement wall shall be protected in accordance with SPS 322.21 (3).

A continuous vapor retarder of 6 mil minimum thickness shall be installed under concrete floor slabs, excluding garages, in accordance with SPS 322.38(3).

Provide a complete drain tile or pipe system around the foundation in accordance with SPS 321.17 where required by the local authority having jurisdiction.

LVL beams at foundation level that are not provided with lateral restraint (discontinuous or dropped beams) or over 11.25" in actual measurements shall be provided with lateral restraint (saddle type connection or other engineered solution) at all columns per SPS 321.22 (3)(d).

Beams, columns, and footings not specifically designated on plan shall be designed to resist the required loading as specified by SPS 321.02, SPS 321.22, and SPS 321.15. Provide a copy of design and installation drawings to inspector showing loading, lateral restraint, bearing, and notching and boring requirements specified by the designer.

Basement bedroom shall be provided with an egress window in compliance with 321.03(6). If unfinished basement is intended to contain future bedroom then an egress window shall be provided.

Rear deck is a required means of egress from the first floor and shall comply with SPS 321.03(8) as required by SPS 321.03(1)(c).

Where sliding doors are used for exiting, the clear opening shall be 29 inches wide and at least 76 inches high per SPS 321.03(7).

Deck construction shall comply with SPS 321.225. Decks built in accordance with SPS 321-325 Appendix B shall be considered compliant with 321.225. This includes requirements for lateral bracing. This includes requirements for wire rope, cable, or other non-rigid guardrail infill material which requires a maximum 3.5" spacing and a vertical post spacing of no more than 4' apart.

Wall separation between dwelling and attached garage shall be fire protected in accordance with SPS 321.08(1)(a). Door in separation wall to be protected in accordance with SPS 321.08(1)(c). This includes walls and door at lower landing of stair separating dwelling unit and garage.

Insulation at floor over garage shall comply with SPS 322.32(8).

Structural framing members supporting living space above garage shall be protected in accordance with SPS 321.08(1)(b).

Provide access to enclosed, concealed attic spaces in accordance with SPS 321.07 (1), including over garage.

Access hatch in garage ceiling may need to be protected in accordance with SPS 321.08 (1)(d), depending on the method of fire separation chosen between the garage and adjacent living space.

Each bedroom on the second floor used for sleeping shall be provided with an egress sized window in accordance with SPS 321.03(2)(b) and 321.03(6).

Interior bearing wall layout for roof trusses is not specified on plan. Designer shall coordinate structural bearing requirements for roof trusses with truss supplier. Designer shall provide revised plans to inspector if revisions are required to add beams, posts, bearing walls, or footings for structural support of roof trusses. Continuous load path is required to be demonstrated by SPS 321.02.

Insulation at cantilevered floors and other overhangs with an exterior or unheated exposed underside shall comply with SPS 322.32(8).

*SPS 320.10(2) INSPECTION REQUIREMENTS.* The applicant or an authorized representative shall request inspections from the local authority administering and enforcing this code. Construction may not proceed beyond the point of inspection until the inspection has been completed, or if otherwise agreed between the applicant and the local authority.

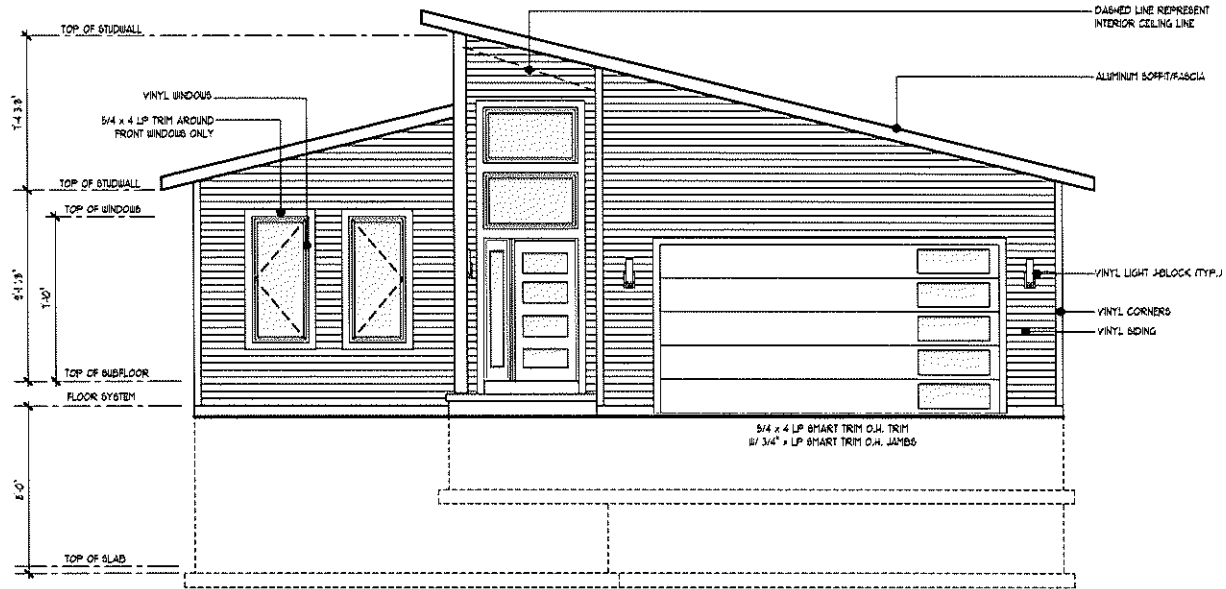
*SPS 320.10(4) NOTICE OF NONCOMPLIANCE.* Upon finding of noncompliance, the local authority shall notify the applicant of record and the owner, in writing, of the violations to be corrected, and shall order all cited violations be corrected within 30 days after written notification, unless an extension of time is granted under SPS 320.21.

*SPS 320.11 SUSPENSION OR REVOCATION OF PERMIT.* The local authority may suspend or revoke any permit where it appears that the permit was obtained through fraud or deceit, where the applicant has willfully refused to correct a violation or order, or where the inspector is denied access to the premises

*WI STATUTE 101.653 CONSTRUCTION SITE EROSION CONTROL.* Applicant shall comply with rules promulgated by the State of Wisconsin per this section establishing standards of practice, techniques, and measures to prevent soil erosion related to the construction of one and two family dwellings as an effective means of preventing or reducing pollutants of surface water generated from construction sites as adopted and administered by any county, city, village or town having jurisdiction.

## **Abbreviations:**

SPS: Wisconsin Administrative Code, SAFETY AND PROFESSIONAL SERVICES  
UDC: Wisconsin Uniform Dwelling Code, SPS 320-325 as defined by SPS 320.07 (75m)



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**NOTES**

- 8" FOUNDATION**
- FOUNDATION DESIGN TO BE BUILT ON MIN 2,000 PSF SOIL CONDITIONS
- POURED CONCRETE WALL TO MEET 3,500 PSI CONCRETE
- HOUSE WALLS TO BE 8" x 8'-0" POURED CONCRETE WALLS UNLESS NOTED OTHERWISE
- GARAGE AND STOOP WALLS TO BE 6" x 4'-0" POURED CONCRETE WALLS UNLESS NOTED OTHERWISE
- FOUNDATION WALL - HORIZONTAL REINFORCEMENT FOR A "PLAIN" CONCRETE WALL SHALL HAVE (4) HORIZONTAL RODS #4 FOR 8" WALL AND #5 FOR 10" OR 12" WALLS CONTINUOUS, ONE AT THE TOP, ONE AT THE BOTTOM AND THE OTHER (2) EVENLY SPACED IN BETWEEN. AT CORNERS, HORIZONTAL REINFORCEMENT SHALL EXTEND AROUND CORNERS A MINIMUM OF 30 BAR DIAMETERS
- FOUNDATION WALLS - VERTICAL REINFORCEMENT SHALL COMPLY WITH MAXIMUM UNBALANCED FILL HEIGHT PER SPS TABLE 33.18D.
- ALL CONCRETE FOOTINGS TO BE A MINIMUM OF 48" BELOW GRADE AND SIZED AS REQ'D BY SOIL CONDITIONS AND BUILDING CODES

- FOUNDATION WALL TO FOOTING CONNECTION TO BE DOUBLED WITH #4 DOUELS AT 24" O.C. WITH 6" DOUPEL PENETRATION INTO THE FOOTING AND 18" INTO THE WALL
- EXTERIOR FOOTING FOR 8" x 8'-0" FND TO BE MIN. OF 22" x 8" CONTINUOUS FOOTING AND OR PER ACI 333-4 TABLE 12.11A
- DECK FOOTINGS SHALL COMPLY WITH STATE OF WISCONSIN BUILDING CODE CHAPTERS SPS 330-335 APPENDIX B
- MOISTURE BREAK REQ'D AT ALL BEAM POCKETS
- SEE CODE AND LOCATE ALL FOOTING, PILASTERS, WINDOW AND SUMP. MASON TO FOLLOW ALL STATE AND LOCAL CODES
- ALL WINDOW WELLS TO BE STD. 32"x16" WINDOW UNIT W/ GALV. AREA WELL W/ DRAIN TILE EXTENDED INTO WINDOW WELL AREA
- FLOOR SYSTEM IS 11/16" JOISTS UNLESS NOTED OTHERWISE. ALL BEAM, HEADER, AND FLOOR SYSTEM SIZES MUST BE VERIFIED W/ ROOF FRAMING PLAN TRUSS LAYOUT. ALL ENGINEERING BY SUPPLIER

- GENERAL**
- EXTERIOR HOUSE WALLS ARE 2x6 (5 1/2") STUDS AT 16" O.C.
  - EXTERIOR GARAGE WALLS ARE 2x4 (3 1/2") STUDS AT 16" O.C.
  - INTERIOR PARTITION WALLS ARE 2x4 (3 1/2") AT 16" O.C.
  - DIMENSIONS ARE STUD TO STUD
  - ALL BEARING HEADERS ARE 2-PLY 2x12 UNLESS OTHERWISE NOTED
  - WINDOW AND DOOR SIZES ARE IN FEET AND INCHES REFER TO FINAL WINDOW/DOOR PACKET FOR ROUGH OPENINGS
  - FRAMER RESPONSIBLE FOR ALL BLOCKING AND FIRE-BLOCKING AS REQUIRED BY CODE
  - MINIMUM 6" HEEL HEIGHT OVER HEATED SPACES
  - PROVIDE ATTIC ACCESS AS REQUIRED BY CODE (LOCATIONS) TBD ON SITE AT TIME OF FRAMING

**APPLICABLE MUNICIPAL CODES**

BUILDING: STATE OF WISCONSIN BUILDING CODE CHAPTER 330-335  
 PLUMBING: STATE OF WISCONSIN BUILDING CODE CHAPTER 381-387  
 ELECTRICAL: STATE OF WISCONSIN BUILDING CODE CHAPTER 316  
 MECHANICAL: STATE OF WISCONSIN BUILDING CODE CHAPTER 361-325

DECK: STATE OF WISCONSIN BUILDING CODE CHAPTERS SPS 330-335 APPENDIX B

**ROUGH OPENING SCHEDULE**

- EXTERIOR / INTERIOR DOORS**
- EXTERIOR DOORS - DOOR + 2 1/2"
  - INTERIOR DOORS (INCLUDING BI-FOLDS) - DOOR + 2 1/2"
  - DOUBLE DOOR (STANDARD) - DOOR + 3 1/2"
  - DOUBLE DOOR (W/ ASTRAGAL) - DOOR + 3 1/2"
  - POCKET DOOR - DOOR WIDTH x 2 + 2" HGT + 84 1/4"
  - BI-PASS DOOR - DOOR WIDTH x 2 + 1"
- THESE ARE "TYPICAL" ROUGH OPENINGS OF "COMMON" DOORS SUPPLIED BY DREXEL BUILDING SUPPLY. THESE ARE ONLY GUIDELINES AND IT IS THE RESPONSIBILITY OF SUB-CONTRACTOR TO VERIFY ANY ROUGH OPENINGS

**SQUARE FOOTAGE**

| AREA                              | SIZE        | SQUARE FEET        |
|-----------------------------------|-------------|--------------------|
| FIRST FLOOR LIVING AREA           | 1767        | SQUARE FEET        |
| BASMENT AREA                      | 1767        | SQUARE FEET        |
| FINISHED BASEMENT AREA            | 679         | SQUARE FEET        |
| GARAGE AREA                       | 568         | SQUARE FEET        |
| FRONT PORCH AREA                  | 44          | SQUARE FEET        |
| REAR PORCH/DECK AREA              | N/A         | SQUARE FEET        |
| <b>TOTAL FINISHED LIVING AREA</b> | <b>2442</b> | <b>SQUARE FEET</b> |

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**REVISIONS:**

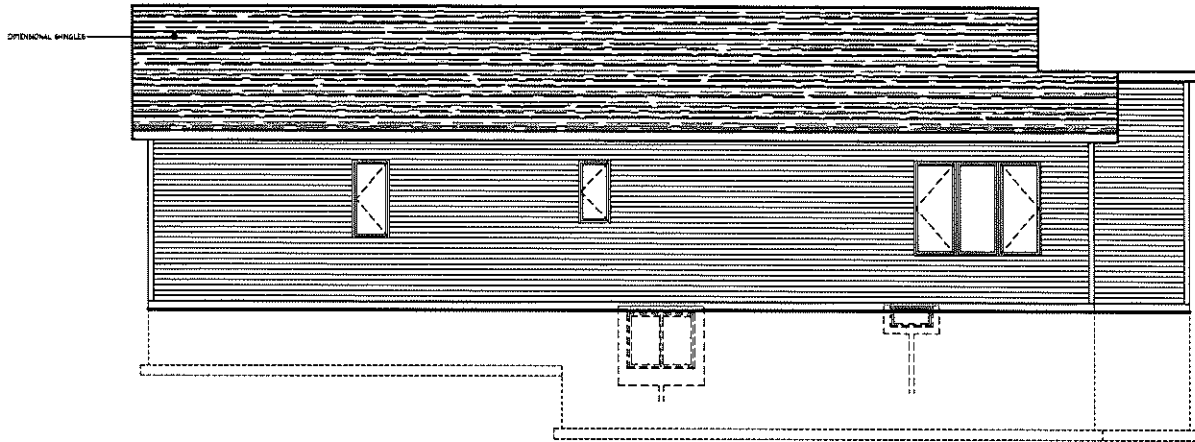
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| 8-21-2021 |             |



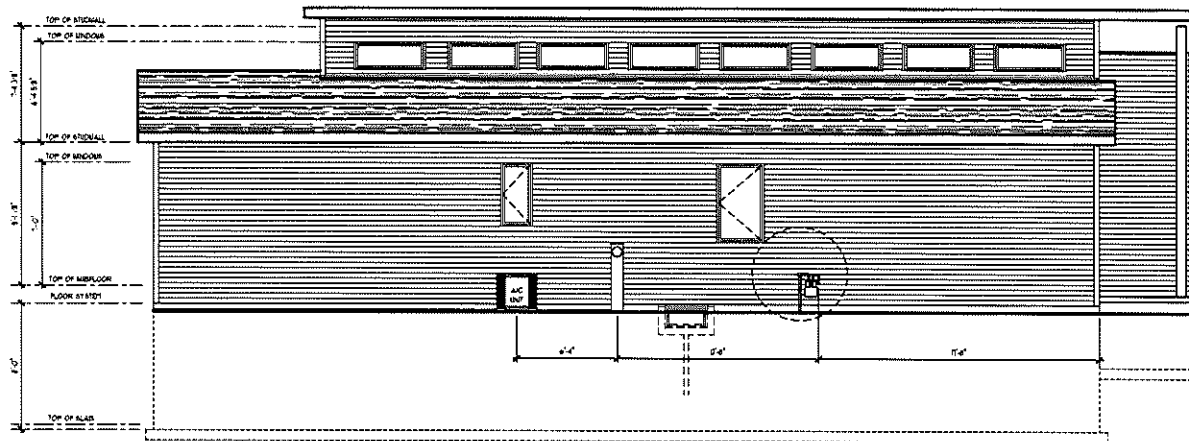
**CUSTOMER:**  
**RAIN RESIDENCE**  
 1000 WISCONSIN AVENUE  
 LOT 58 MUELLER FIELDS WEST SUBDIVISION  
 TOWN OF SHELBOURN

HILLCREST BUILDERS  
 P.O. BOX 78  
 GLENDELUAN, WI 53127  
 PH: (414) 526-5246  
 FAX: (920) 526-5251

MODEL:  
**VINTAGE 1A**  
 SHEET  
 1 of 9  
 JOB NO.  
**L21-02**



**RIGHT ELEVATION**  
SCALE: 3/16" = 1'-0"



**LEFT ELEVATION**  
SCALE: 3/16" = 1'-0"

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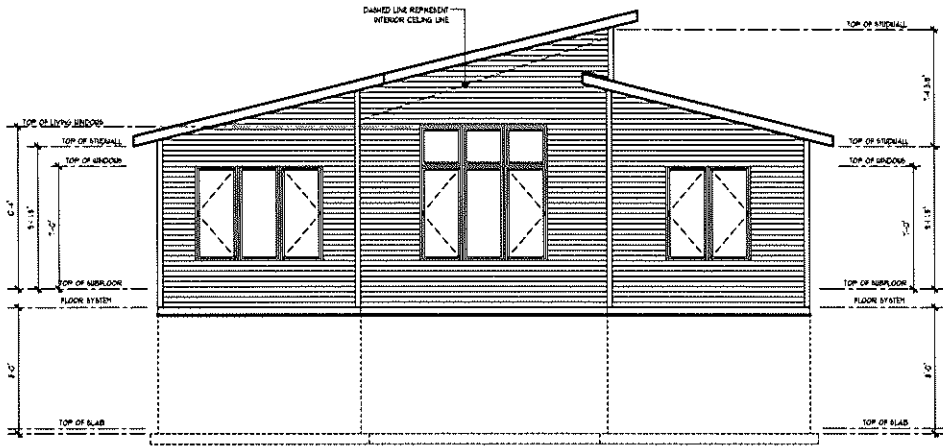
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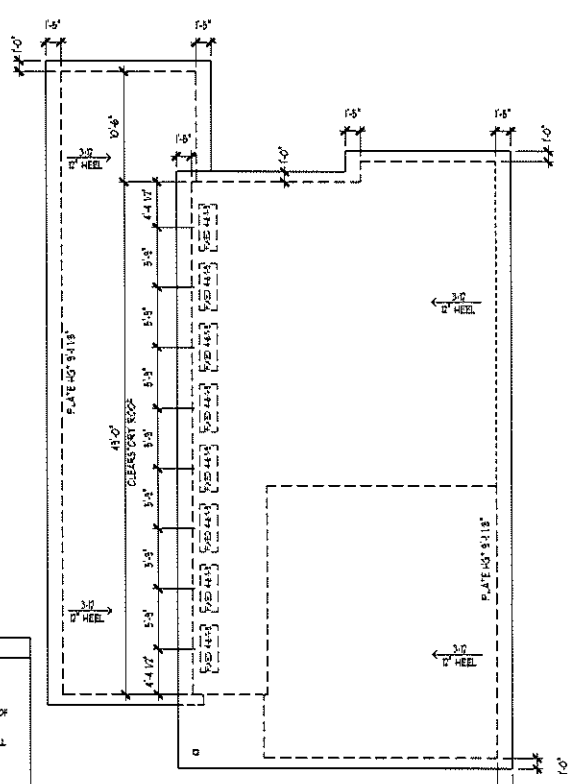
CUSTOMER:  
**RAHN RESIDENCE**  
ADDRESS:  
LIMERIC LANE  
LOT 58 MUELLER FIELDS WEST SUBDIVISION  
TOWN OF EMBURY, PA

HILLCREST BUILDER  
P.O. BOX 76  
GLENNLLEIGH, WI 53  
PH: (262) 249-26  
FAX: (262) 249-27

MODEL:  
**VINTAGE 1A**  
SHEET  
2 of 9  
JOB NO.  
**L21-02**



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"



**ROOF LAYOUT**  
1/8" = 1'-0"  
FRONT

- NOTES**
- ARCHITECTURAL SHINGLES w/ 1/4" FELT UNDERLAYMENT
  - 1/2" OSB ROOF SHEATHING w/ H-CLIPS
  - INSTALL ICE AND WATER SHIELD WITHIN 2' OF EAVES AND AT ALL VALLEYS
  - INSTALL CONTINUOUS RIDGE VENTING IN ALL APPLICABLE LOCATIONS
  - ALL DIMENSIONS ARE STUD TO STUD
  - TOP VIEW OF ROOF SHOWN FOR REFERENCE ONLY REFER TO FINAL ENGINEERED TRUSS LAYOUTS
  - ALL HILL HEIGHTS TO BE VERIFIED UPON FINAL TRUSS LAYOUTS

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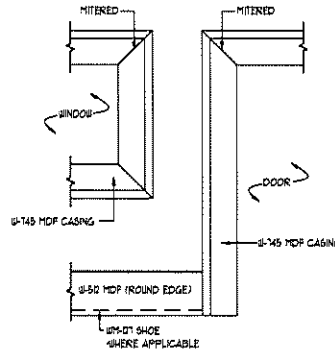


CUSTOMER  
**RAHN RESIDENCE**  
JOB ADDRESS  
LOT 58 MUELLER FIELDS WEST SUBDIVISION  
TOWN OF SUBDIVISION

HILLCREST MODEL  
P.O. BOX 28  
GLENNDALE, WI 53033  
PH: (262) 745-3636  
FAX: (262) 745-3638

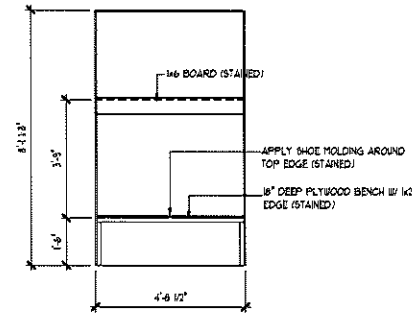
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**VINTAGE 1A**  
SHEET  
3 OF 9  
JOB NO.  
**L21-02**





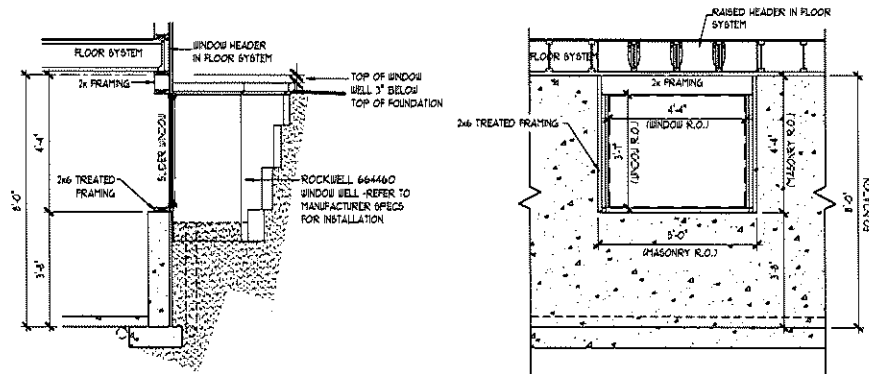
**TRIM DETAIL**

1 1/2' x 1'-0" TRIM PACK 3



**BUILT-IN BENCH DETAIL**

3/8' x 1'-0"



**8' EGRESS WINDOW WELL DETAIL**

2 3/8' x 1'-0"

WINDOW WELL INSTALLED AND SUPPLIED BY FOUNDATION CONTRACTOR

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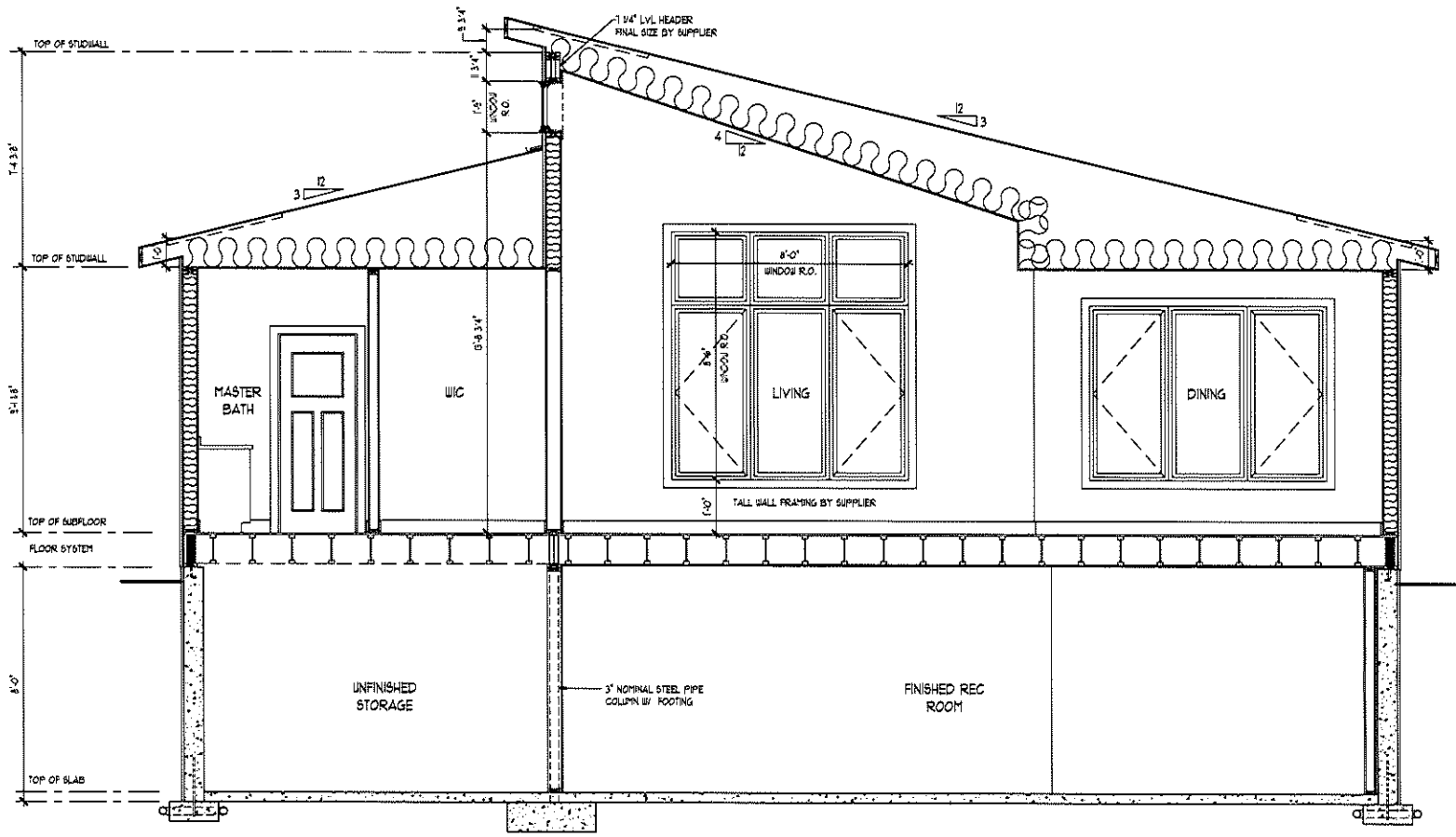
CUSTOMER:  
**RAHN RESIDENCE**  
 0.25 ACRES  
 LUKERICK LANE  
 LOT 68 MUELLER FIELDS WEST SUBDIVISION  
 TOWN OF SUPERVAULT

HILLCREST BUILDERS  
 P.O. BOX 28  
 DUNNELLAN, WI 53128  
 PH: (262) 526-3000  
 FAX: (262) 526-3000

MODEL:  
**VINTAGE 1A**

SHEET:  
 6 OF 9

JOB NO.  
**L21-02**



3 BUILDING CROSS SECTION  
3/8" = 1'-0"

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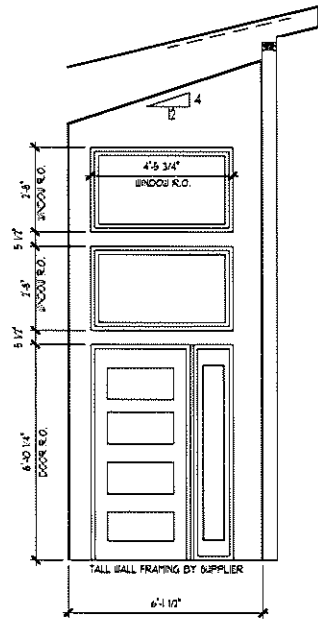
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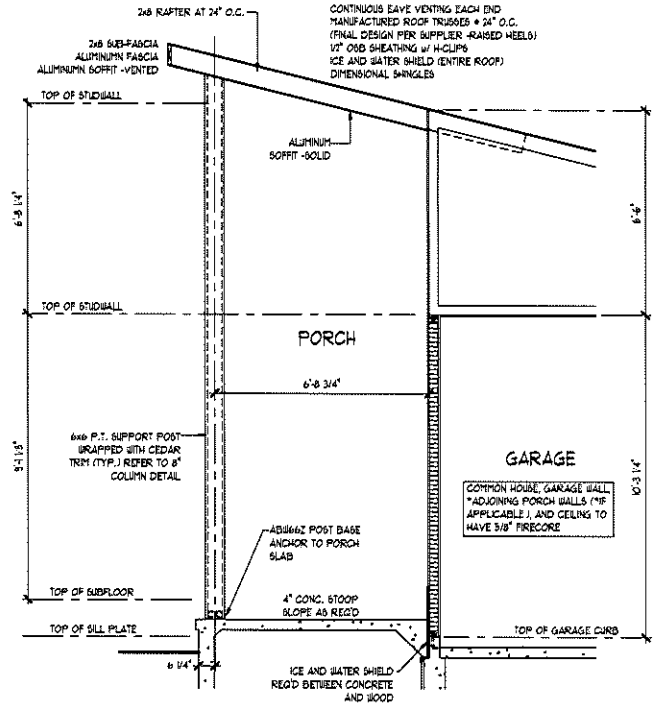
CUSTOMER:  
**RAHN RESIDENCE**  
03 LOTS 28-35  
LIMERICK LANE  
LOT 55 MAUELLER FIELDS WEST SUBDIVISION  
TOWN OF SUPERIOR, WI

HILLCREST BUILDERS  
P.O. BOX 28  
GLENNDALE, WI 53129  
TEL: (262) 529-5000  
FAX: (262) 529-5000

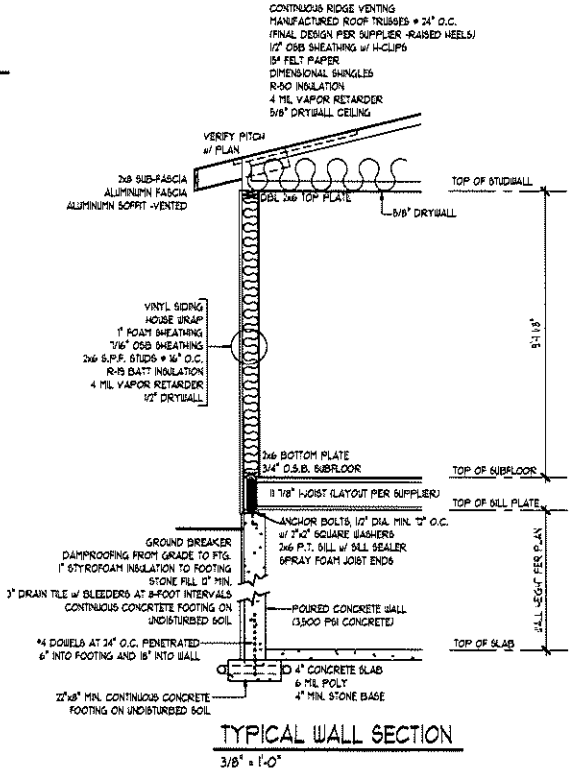
MODEL:  
**VINTAGE 1A**  
SHEET  
7 of 9  
JOB NO.  
**L21-02**



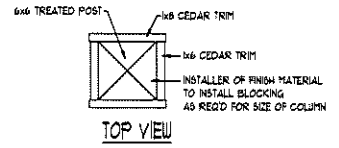
4 INTERIOR VIEW - ENTRY  
3/8" = 1'-0"



PORCH SECTION (FRONT)  
3/8" = 1'-0"



TYPICAL WALL SECTION  
3/8" = 1'-0"



8" EXT. PORCH COLUMN DETAIL  
1/12" = 1'-0"

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REVISIONS:

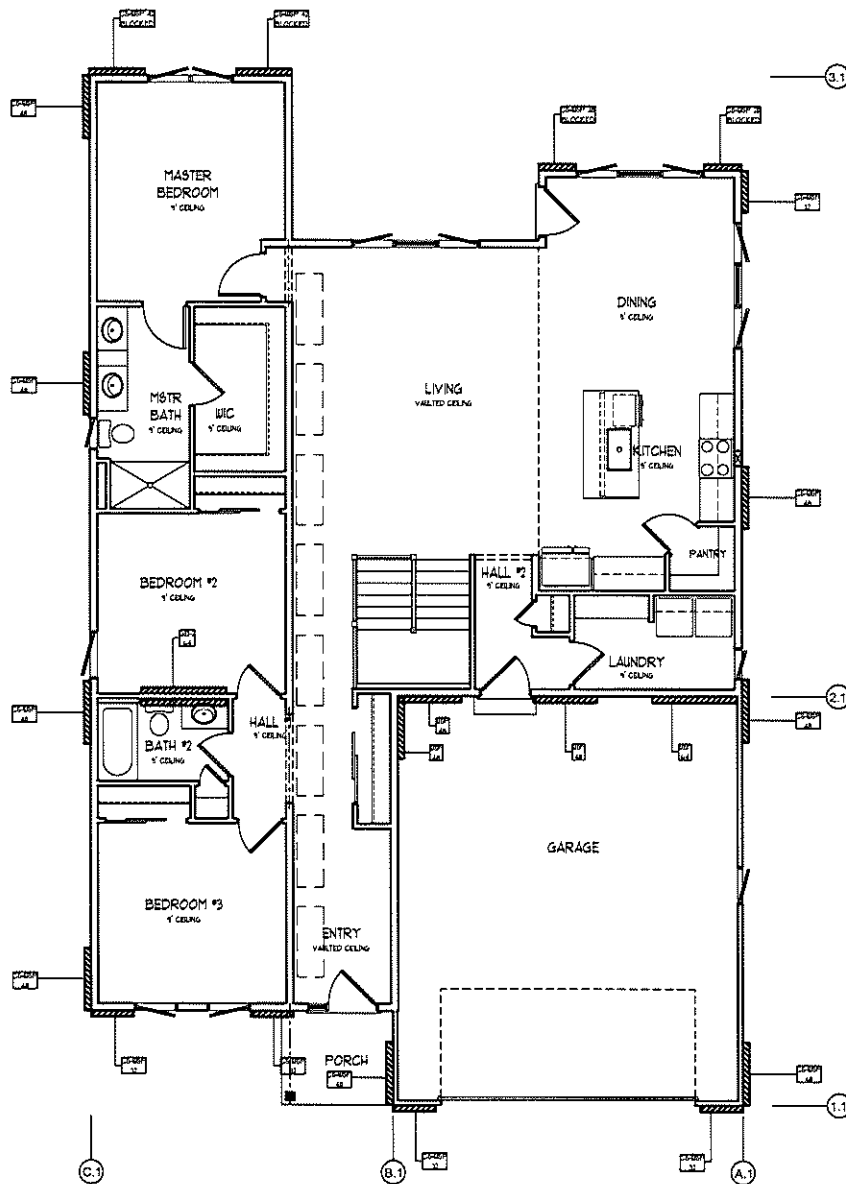
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| 8-17-2021 |  |
| 8-21-2021 |  |



CUSTOMER: RAHN RESIDENCE  
509 ADDRESS: LIMERICK LANE  
LOT 88 MUELLER FIELDS WEST SUBDIVISION  
TOWNSHIP: TOWNSHIP 10N RANGE 10E COUNTY: WAUSAU

HILLCREST BUILDERS  
P.O. BOX 24  
GLENNDALE, WI 53129  
PHONE: (262) 526-2100  
FAX: (262) 526-2100

MODEL: VINTAGE 1A  
SHEET: 8 OF 9  
JOB NO.: L21-02



FIRST FLOOR WALL BRACING

**SHEARWALL/WALL BRACING LEGEND**

SHEAR WALL / BRACED WALL PANEL

SHEAR WALL / BRACE PANEL TAG  
LENGTH IN FEET  
PANEL EDGE BLOCKING IF REQ.

SHEAR WALL (BRACED WALL) LINE


PANELS w/ 'BLOCKING' DESIGNATION: PROVIDE NORMAL 2x SOLID BLOCKING AT ALL PANEL EDGE JOINTS WHICH DO NOT LINE UP WITH WALL OR FLOOR FRAMING. INSTALL EDGE FASTENING PER TYPICAL FASTENING INSTRUCTIONS.

**WALL BRACING TYPE ABBREVIATIONS**

| TAG  | DESC   |
|------|--|
| SBP  | WOOD STRUCTURAL PANEL - ONE SIDE, 1/2" APA RATED WOOD SHEATHING  |
| CSBP | WOOD STRUCTURAL PANEL IN CONTINUOUS WOOD SHEATHED WALL   |
| GB   | GYP/FR BOARD PANEL APPLIED ONE SIDE ONLY   |
| GB-1 | GYP/FR BOARD PANEL APPLIED BOTH SIDES  |
| CPH  | PORCEL FRAKE IN CONTINUOUS WOOD SHEATHED WALL AT LOCATION SPECIFIED ONLY. 1/2" THICK APA RATED WOOD SHEATHING. SEE UBC/IRC CODE DETAIL SP503-2-4 |

**PANEL FASTENING SCHEDULE**

| SHEATHING TYPE                     | FASTENER              | SPACING (EDGE / FIELD)                        |
|------------------------------------|-----------------------|---|
| WOOD SHEATHING (1/2" THICK)        | 1/4" 2X WOOD SCREWS   | # / 12"                                       |
| WOOD WALL SHEATHING (1/2" THICK)   | 0.0175" R.S. NAIL     | # / 12"                                       |
| WOOD ROOF SHEATHING (1/2" OR 5/8") | 0.0175" R.S. NAIL     | # / 12" TYPICAL<br>2" x 4" ROOF AND OVERHANGS |
| GBR WALL                           | 1/4" 0X TYPE W SCREWS | # / 12"                                       |



**FOCUS**  
ENGINEERING LLC  
607 DOW ST. EARTH, WI 53121  
(262) 215-9295  
contact@focusengineeringllc.com  
www.focusengineeringllc.com

NOTE: THESE PLANS ARE THE PROPERTY OF FOCUS ENGINEERING LLC. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY FOCUS ENGINEERING LLC. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY FOCUS ENGINEERING LLC. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY FOCUS ENGINEERING LLC.

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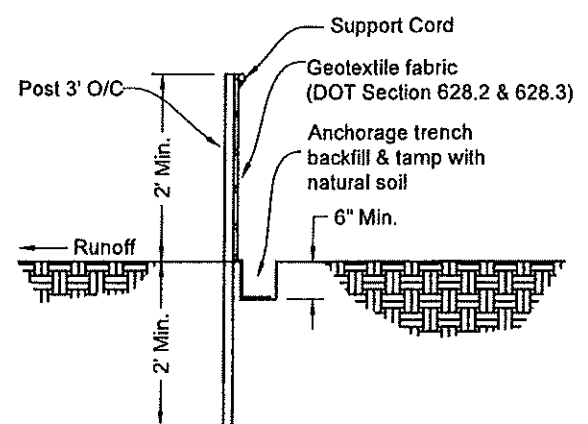
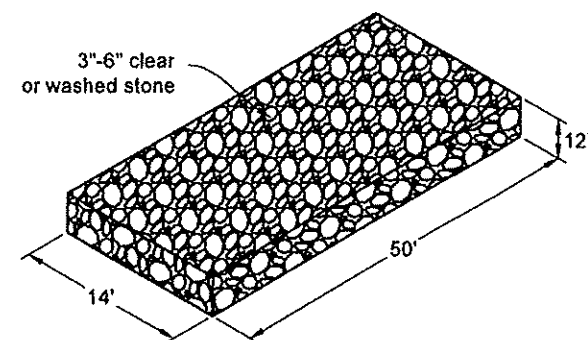
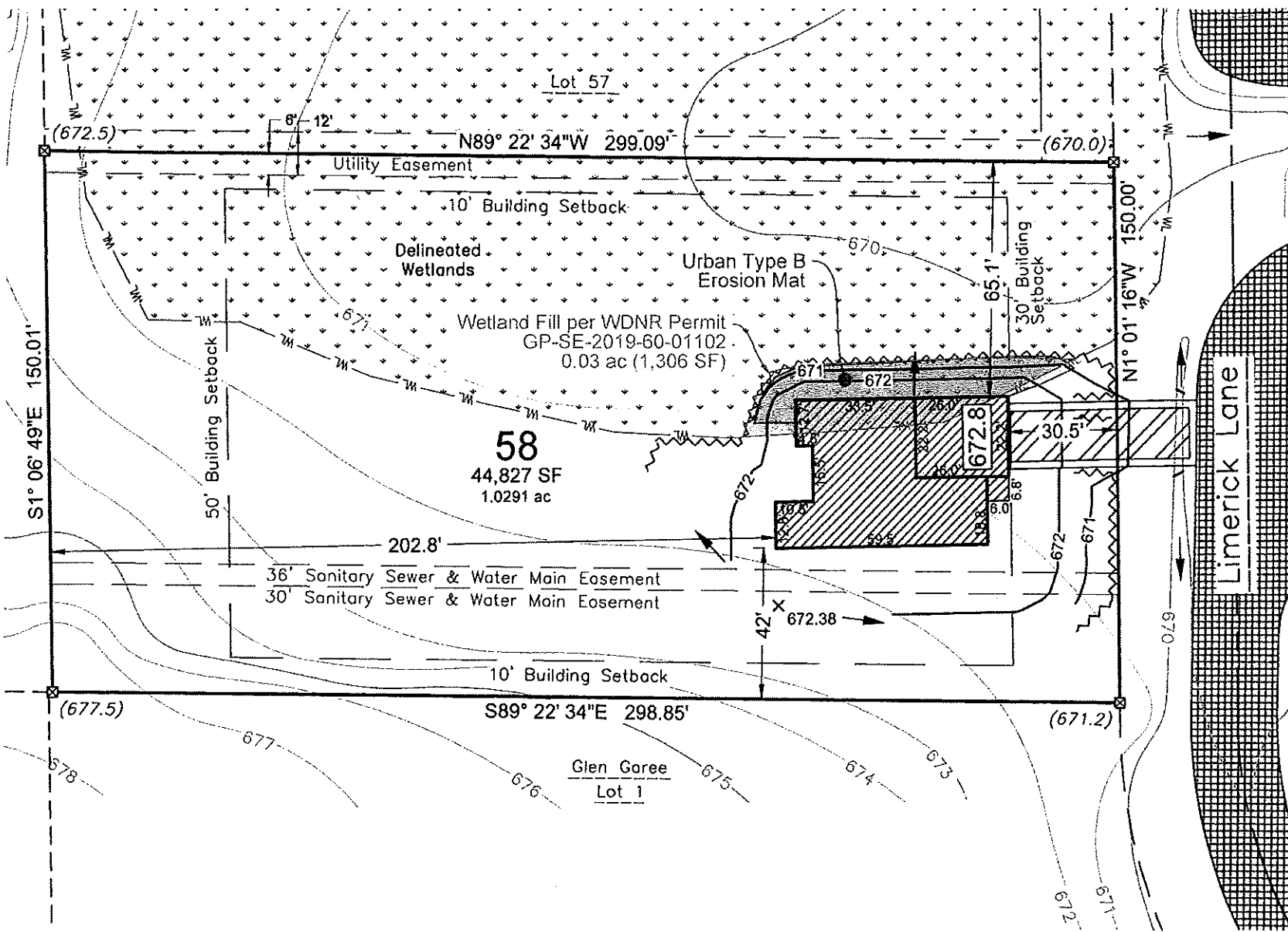
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| 4-15-2021 |             |
| 5-19-2021 |             |
| 6-15-2021 |             |
| 6-17-2021 |             |
| 6-21-2021 |             |



CUSTOMER: **RAHN RESIDENCE**  
JOB ADDRESS: **LOT 188 RAHN RESIDENCE WEST SUBDIVISION**  
TOWN/PLANE: **ESSEXVILLE**

HILLCREST BUILDERS  
1101 N. HILL ST.  
GREENFIELD, WI 53121  
PH: (262) 526-3636  
FAX: (262) 570-5636

MODEL: **VINTAGE 1A**  
SHEET: **9 of 9**  
JOB NO.: **L21-02**



**NOTES:**

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- Sediment barrier shall be installed at the toe of all newly constructed fill slopes and shall be maintained until slope vegetation is established. Sediment barrier shall be installed prior to site grading.
- Sediment barrier inlet protection shall be installed around the upstream end of new culvert pipes.
- Sediment barrier shall consist of silt fencing, hay bales, sediment eels, or sediment logs as shown in the detail. Sediment barrier can be eliminated if a 25' wide buffer of existing dense vegetation exists on the lot between the disturbed ground and property line.
- A stone tracking pad shall be provided to the home under construction.
- Tracking of mud on existing streets is not allowed. If it does occur, it shall be cleaned up immediately.
- Vegetation beyond slopes shall remain.
- The contractor shall inspect all erosion control devices weekly and after each rainfall event and repair or maintain as necessary.
- Disturbed areas shall be seeded as soon as final grade is established. If final grade cannot be established, temporary seeding is required for any disturbed land area left in active for more than 7 days. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site.
- Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- All downspouts shall discharge to onsite lawn areas having slopes less than 8% for a minimum 20-feet beyond the downspout discharge.
- Sump pump shall drain over land.
- Offsite runoff shall be diverted around the construction.
- All onsite waste and construction materials shall be handled and disposed of properly. Concrete wash-out into the proposed pavement gravel base may occur for initial pours. Washout from final pours must be contained and carried offsite for proper disposal. No concrete, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.
- All temporary soil piles shall be stabilized if they are to remain longer than 1 week.
- All Erosion control BMPs must be in place prior to land disturbing activities.

**SITE SUMMARY:**

|                     |           |
|---------------------|-----------|
| Total Lot Area:     | 44,827 SF |
| Building Footprint: | 2,333 SF  |
| Driveway:           | 684 SF    |
| Sidewalk & Patio:   | 151 SF    |
| Total Impervious:   | 3,168 SF  |
| % Impervious:       | 7.0 %     |
| Disturbed Area:     | 7,903 SF  |

**SETBACKS:**

|        |          |
|--------|----------|
| Front: | 30'      |
| Sides: | 10' each |
| Rear:  | 50'      |

**SEQUENCE OF CONSTRUCTION:**

- Contact Zoning 3 days prior to disturbance.
- Install silt fence, June 2021.
- Strip and stockpile topsoil from construction zone, June 2021.
- Construct tracking pad, June 2021.
- Excavate for foundation, June 2021.
- Construct foundation, June 2021.
- Backfill foundation, June 2021.
- Temporary seed all disturbed areas, June 2021.
- Construct home, June 2021-August 2021.
- Grade lawn, July 2021.
- Seed and mulch disturbed areas, No Later than July 15th, 2021.
- Remove silt fence after vegetation is established, September 2021.

**CONTRACTOR:**

Hillcrest Builders  
124 South Swift Street  
Glenbeulah, WI 53023

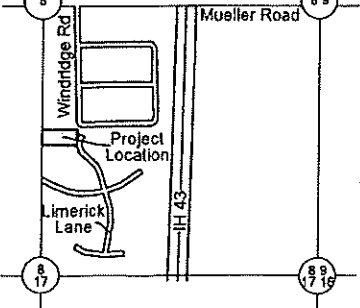
**DRAINAGE PLAN CERTIFICATION:**

I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of Sheboygan County.

John R. Davel, P.E. E-25512  
Date: 6/17/21

**LOCATION MAP**

SE 1/4 SEC 8, T 15 N, R 23 E,  
TOWN OF SHEBOYGAN  
SHEBOYGAN COUNTY, WI



**LEGEND**

|  |                           |  |  |
|--|---------------------------|--|--|
|  | Existing Contour          |  | Proposed Grade   |
|  | Proposed Contour          |  | Existing Grade   |
|  | Proposed Sediment barrier |  | Proposed Garage Floor Elevation & Proposed Ground Elevation @ Foundation |
|  | Prop. Drainage Direction  |  |  |
|  | Proposed Tracking Pad     |  |  |

